

# Bank of America



**Jones Lang LaSalle**  
Project Manager  
525 N Tryon St., 5th Floor  
Charlotte, NC 28202  
(919) 437-3599  
Attn: Jason Hale

## Shipyard Plaza ATM- UB

Site ID #: NCW-728

### Issue for Permit

05.29.18

2632-2642 Carolina Beach Rd, Wilmington, NC 28401  
69.6191.980 / 10-629.00

M. Arthur Gensler Jr. & Associates, Inc.  
**Gensler**  
Architect  
LIC. NO. AA0002837  
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2 Harrison Street, Ste 400  
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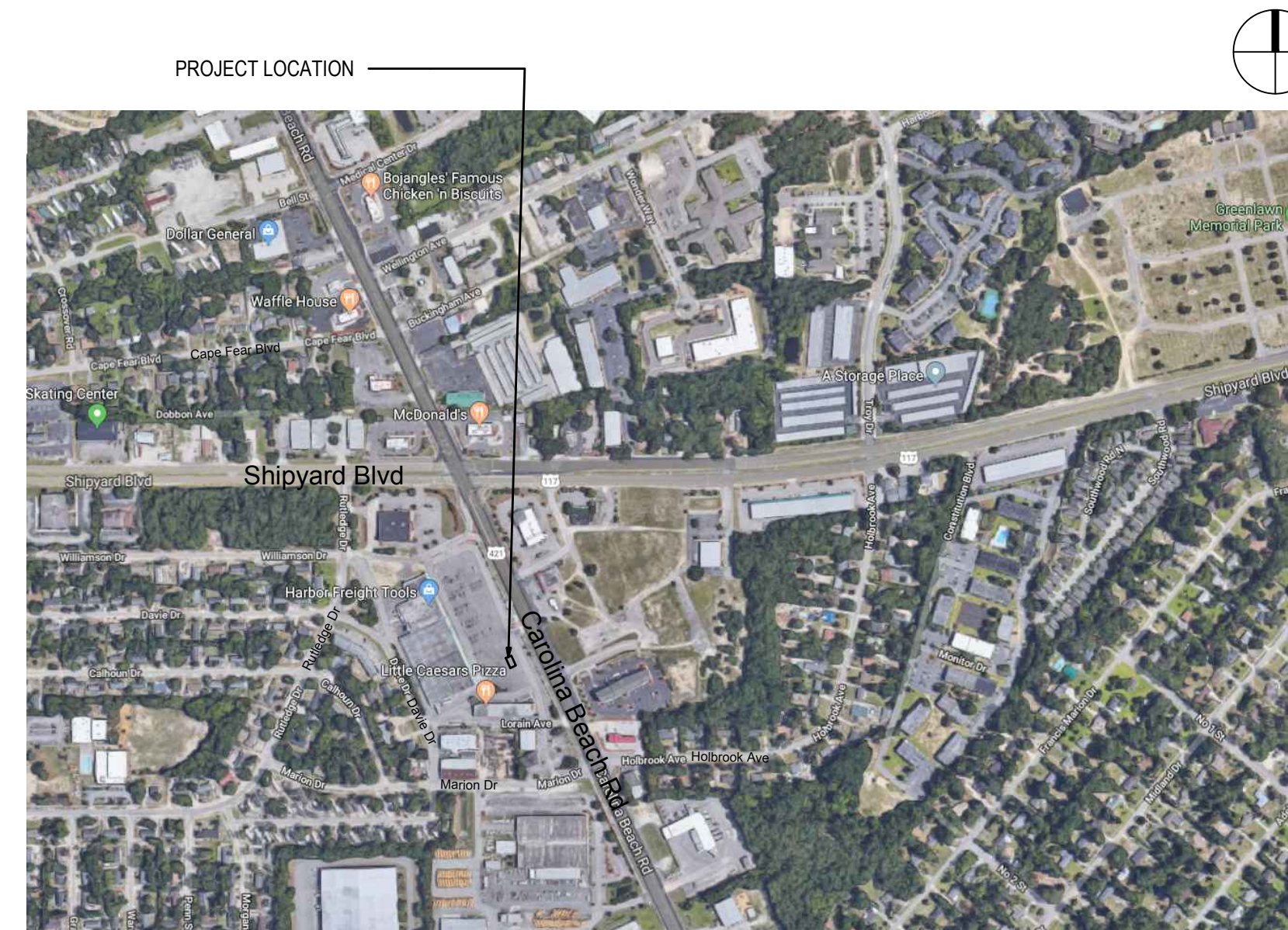
**Infinity Engineering Group, LLC.**  
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1208 E. Kennedy Blvd., Suite 230  
Tampa, FL 33602  
T: 813.434.4770  
Attn: Todd Stickler

NISIT SAPPARKHAO, P.E.  
NC REG. NO. 38066

**LOCATION MAP**



**LOCATION MAP**



**PROJECT INFORMATION**

PROJECT ADDRESS: 2632-2642 CAROLINA BEACH RD, WILMINGTON, NC 28401

PROJECT SIZE & TYPE: REMOTE EXTERIOR DRIVE-UP ATM

**APPLICABLE CODES**

EXISTING BUILDING CODE : NORTH CAROLINA BUILDING CODE, (2015)  
 ENERGY CODE : NORTH CAROLINA ENERGY CODE, (2012)  
 MECHANICAL CODE : NORTH CAROLINA MECHANICAL CODE, (2012)  
 PLUMBING CODE : NORTH CAROLINA PLUMBING CODE, (2012)  
 ELECTRICAL CODE : NORTH CAROLINA ELECTRICAL CODE, (2014)  
 FIRE CODE : NORTH CAROLINA FIRE CODE, (2012)  
 FUEL GAS CODE : NORTH CAROLINA FUEL GAS CODE, (2012)

**DRAWING INDEX**

Sheet Number	Sheet Name
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000	COVER SHEET
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**ARCHITECTURAL**

A00.00	DRAWING INDEX, LOCATION MAP, SITE PLAN & PROJECT INFORMATION
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Scale

Description

DRAWING INDEX, LOCATION MAP, SITE PLAN & PROJECT INFORMATION

**A00.00**

**UTILITY GENERAL NOTES:**

- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF RECORD OF ANY CONFLICTS IMMEDIATELY.
- CONTRACTOR TO COORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE WITH LOCAL ELECTRIC COMPANY.
- CONTRACTOR TO INSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO POINT OF CONNECTION) AND COORDINATE INSTALLATION OF SERVICE WITH TELEPHONE OPERATIONS.
- SEE SITE BOUNDARY AND TOPOGRAPHIC SURVEY FOR LOCATION OF OTHER EXISTING UTILITIES.

**PAVING AND GRADING GENERAL NOTES:**

- THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO ANY CONSTRUCTION IF ANY PROBLEMS OR DISCREPANCIES EXIST. THIS PROJECT IS TO BE BUILT IN ONE PHASE.
- SEE BOUNDARY & TOPOGRAPHIC SURVEY FOR TEMPORARY BENCH MARK (TBM) LOCATIONS.
- ALL DISTURBED AREAS WITHIN RIGHTS-OF-WAY TO BE RETURNED TO MATCH EXISTING CONDITION.
- CONTRACTOR SHALL INSTALL EROSION CONTROL SILT FENCE AROUND THE PERIMETER OF THE SITE AND MUST MAINTAIN THE SILT FENCE IN GOOD REPAIR UNTIL ALL CONSTRUCTION IS COMPLETE AND THE AREA IS STABILIZED.

**ELECTRICAL FLOOD PROOFING NOTES:**

- ALL PIPING MUST BE PVC AND HAVE THREADED FITTINGS AT ALL JOINTS.
- ALL NEW CIRCUITS MUST HAVE A SEAL-OFF INSTALLED AT THE HIGHEST POINT IN THE PIPING PRIOR TO THE NEW "ATM" PANEL.
- THE ATM MUST HAVE A SEAL-OFF LOCATED WITHIN THE ELECTRICAL SUMP BENEATH THE ATM AND AT THE HIGHEST ELEVATION IN THE PIPING TO THE NEW "ATM" PANEL.
- A SEAL-OFF MUST BE INSTALLED AT THE HIGHEST POINT IN THE PIPING RUN LEAVING THE NEW METER TO FEED THE NEW "ATM" PANEL.
- ALL WIRING USED THROUGHOUT THE FACILITY MUST BE RATED THHN/THWN/THWN-2 AS REQUIRED FOR WET LOCATIONS.

**DEMOLITION GENERAL NOTES:**

- CONTRACTOR TO DEMOLISH AND REMOVE ALL IMPROVEMENTS AS NOTED.
- CONTRACTOR TO ESTABLISH AND PROPERLY FLAG PROPERTY LINES PRIOR TO DEMOLITION.
- ALL ABOVE AND BELOW GROUND HARDWARE, EQUIPMENT AND MATERIALS TO BE DISPOSED OF IN ACCORDANCE WITH LOCAL MUNICIPALITY REQUIREMENTS.
- INFORMATION TAKEN FROM BOUNDARY AND TOPOGRAPHIC SURVEY.
- THE CONTRACTOR SHALL UTILIZE SUITABLE EROSION CONTROL DURING DEMOLITION.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
- CONTRACTOR TO CLEAN ALL EXISTING STORMWATER STRUCTURES AND PIPES FOR STRUCTURES TO REMAIN.

**SITE PLAN GENERAL NOTES:**

- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF BUILDING.
- EXISTING IMPROVEMENTS SHOWN ARE TAKEN FROM BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY AMB SURVEYING AND MAPPING, FIELD DATE: 10/19/2015.
- BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL.
- ALL TIES TO THE PROPERTY LINE ARE BASED ON THE BOUNDARY & TOPOGRAPHIC SURVEY.
- ALL CURB RADIUS ARE 3' UNLESS OTHERWISE NOTED.
- PROPOSED BUILDING IS TO BE ARCHITECTURALLY FINISHED ON ALL SIDES.

**SITE DATA:**

- PARCEL ID: R06506-006-001-000
- SITE ADDRESS: 2638 CAROLINA BEACH ROAD WILMINGTON, NC 28412
- OWNER/MAILING: THE ROSEMYR CORPORATION 231 SOUTH GARNETT STREET HENDERSON, NC 27536
- ZONING: RB - REGIONAL BUSINESS SETBACK REQUIREMENT: FRONT - 25 FT MAJOR SIDE - 25 FT MINOR SIDE - 0 FT REAR - 25 FT MAXIMUM BUILDING HEIGHT - 35 FT MAXIMUM LOT COVERAGE 40%
- GROSS SITE AREAS: 397,228 SF OR 9.12 AC
- BUILDING SIZE: 27 SF (PROPOSED REMOTE ATM)
- FLOOD ZONE: THIS PROPERTY IS SHOWN NOT TO BE LOCATED WITHIN THE LIMITS OF A DESIGNATED FLOOD HAZARD AREA ON FEMA FLOOD INSURANCE RATE MAP NO. 3720312600J, DATED APRIL 3, 2006.
- CAMA LAND USE CLASSIFICATION: URBAN
- TREE REMOVAL: NONE. THERE WILL BE NO TREE REMOVAL AS PART OF THIS PROJECT.

**GENERAL NOTES:**

SPECIFICATIONS FOR GENERAL CONTRACTORS PERFORMING WORK FOR BANK OF AMERICA

- UPON COMPLETION OF THE JOB, THE CONTRACTOR WILL PROVIDE THE OWNER WITH:
  - AS-BUILT DRAWINGS.
  - RELEASE OF LIENS FOR ALL SUB-CONTRACTORS.
  - A FINAL RELEASE OF LIENS FROM THE GENERAL CONTRACTOR.
  - THE ORIGINAL BUILDING PERMIT DRAWINGS WITH THE ORIGINAL INSPECTOR'S SIGNATURES.
- THE OWNER WILL NOT BE RESPONSIBLE FOR:
  - SECURITY OF MATERIALS OF WORK IN PLACE.
  - WARRANTY REPAIRS.
  - WINDOW BREAKAGE DURING CONSTRUCTION.
  - WORK STOPPAGES DUE TO WORK INTERFERING WITH OTHER TENANTS.
  - DELAYS DUE TO CHANGE ORDERS AND ARCHITECT-CONTRACTOR PROBLEMS.
  - PAYMENT OF ANY DRAW WILL BE SUBJECT TO THE OWNER'S REPRESENTATIVES AGREEING TO THE DEGREE OF COMPLETION. TEN PERCENT (10%) OF EACH DRAW WILL BE HELD AS A RETAINER UNTIL THE JOB IS COMPLETED, INCLUDING PUNCH LIST ITEMS, RELEASES OF LIEN, AND ACCEPTANCE OF THE SPACE BY BOTH THE TENANT AND LANDLORD.
- THE CONTRACTOR WILL: SECURE THE NECESSARY BUILDING PERMITS AND INSPECTIONS. INDEMNIFY AND KEEP HARMLESS THE OWNER FROM ALL LOSSES, DAMAGES, LIABILITIES, AND EXPENSES WHICH MAY ARISE OR BE CLAIMED AGAINST LANDLORD AND BE IN FAVOR OF ANY PERSONS, FIRMS, OR CORPORATIONS FOR ANY INJURIES OR DAMAGES TO THE PERSON OR PROPERTY OF ANY PERSONS, FIRMS, OR CORPORATIONS CONSEQUENT UPON OR ARISING FROM THE CONSTRUCTION, USE, OR OCCUPANCY OF LEASED PREMISES BY THE CONTRACTOR OR CONSEQUENT UPON OR ARISING FROM ANY ACTS, OMISSIONS, NEGLIGENCE, OR FAULT OF THE CONTRACTOR, HIS AGENTS, SERVANTS, EMPLOYEES, LICENSEES, VISITORS, CUSTOMERS, PATRONS, OR INVITEES, OR CONSEQUENT UPON OR ARISING FROM THE CONTRACTOR'S FAILURE TO COMPLY WITH ANY LAWS, STATUTES, ORDINANCES, CODES, OR REGULATIONS; THAT THE OWNER SHALL NOT BE LIABLE TO THE CONTRACTOR FOR ANY DAMAGES, LOSSES OR INJURIES TO THE PERSONS, FIRMS, OR CORPORATIONS EXCEPT WHEN SUCH INJURY, LOSSES, OR DAMAGES RESULTS FROM NEGLIGENCE OF THE OWNER, HIS AGENTS, OR EMPLOYEES, AND THAT THE CONTRACTOR WILL INDEMNIFY AND KEEP HARMLESS THE OWNERS AND BE IN FAVOR OF ANY PERSONS, FIRMS AND CORPORATIONS WHERE SAID INJURIES OR DAMAGES AROSE ABOUT OR UPON THE LEASED PREMISES AS A RESULT OF THE NEGLIGENCE OF THE CONTRACTOR, HIS AGENTS, EMPLOYEES, SERVANTS, LICENSEES, VISITORS, CUSTOMERS, PATRONS, AND INVITEES. ALL PERSONAL PROPERTY PLACES OR MOVED INTO THE OR OUT OF THE BUILDING SHALL BE AT THE RISK OF THE CONTRACTOR OR THE OWNER, THEREFORE AND THE OWNERS SHALL NOT BE LIABLE TO THE CONTRACTOR FOR ANY DAMAGES TO ANY PERSON PROPERTY.
- THE CONTRACTOR WILL CONFINE THE CONSTRUCTION DEBRIS AND DUST TO THE CONSTRUCTION AREA, AWAY FROM OCCUPIED AREAS. ALL AREAS OF THE BUILDING, ESPECIALLY ACCESS AREAS AND COMMON AREAS, ARE TO BE MAINTAINED IN A CLEAN AND ORDERLY FASHION. THE CONTRACTOR IS TO TURN THE IMPROVED PREMISES OVER TO THE PROPERTY MANAGER IN A CLEAN CONDITION, READY FOR OCCUPANCY BY THE TENANT.
- THE CONTRACTOR WILL REMOVE ALL TRASH AND DEBRIS, INCLUDING EXCESS BUILDING MATERIALS FROM THE CONSTRUCTION SITE AND THE BUILDING AND NO UNREASONABLE ACCUMULATION BE ALLOWED.
- THE CONTRACTOR WILL COORDINATE THE DELIVERY OF MATERIALS AND THE USE OF THE FREIGHT ELEVATOR AND REMOVAL OF DEBRIS WITH THE PROPERTY MANAGER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PARKING CHARGES OF HIS EMPLOYEES, SUB-CONTRACTORS, AND VENDORS.
- THE CONTRACTOR WILL SUBMIT ALL CHANGE ORDERS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL AND THE BLUEPRINTS ARE THE BE REVISED ACCORDINGLY.
- THE CONTRACTOR WILL EXERCISE ALL DUE DILIGENCE IN MAINTAINING A SAFE WORKING ENVIRONMENT AND TO ABIDE BY ALL OSHA REGULATIONS.
- UPON COMPLETION, THE CONTRACTOR WILL REMOVE ALL FOREIGN MATERIALS FROM WINDOWS, FLOORS, GLASS, HARDWARE, AND RESTROOM FIXTURES.
- THE CONTRACTOR WILL NOT UNDULY DISTURB THE PEACEFUL ENJOYMENT OF ANY TENANTS IN THE BUILDING. ALL

DISRUPTIVE WORK WILL BE COORDINATED WITH THE PROPERTY MANAGER.  
 12. THE CONTRACTOR IS TO PROVIDE FIVE (5) COPIES OF ALL SHOP DRAWINGS, PRODUCT INFORMATION SUBMITTALS, AND ALL OTHER SUBMITTALS REQUIRED FOR REVIEW, ETC. AT LEAST TWO (2) OF THE ABOVE COPIES SHALL BE ORIGINALS.

GENERAL NOTES

- THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL CONDITIONS OF THE WORK PRIOR TO SUBMITTING A BID.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENTING OF THE WORK IN THE AREA IN QUESTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE TO THE LATEST EDITION OF THE FLORIDA BUILDING CODE AND ALL OTHER APPLICABLE CODES.
- IMPACT FEES, WATER AND SEWER CONNECTIONS FEES AND DEPOSITS FOR PERMANENT UTILITY SERVICES SHALL BE PAID FOR BY THE OWNER. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND/OR THE OWNER WHEN THESE FEES APPLY PRIOR TO THE START IF THE CONSTRUCTION OF THE PROJECT.
- ANY ITEM OF WORK NECESSARY TO THE PROPER COMPLETION OF THE CONSTRUCTION WHICH IS NOT SPECIFICALLY COVERED IN THESE DOCUMENTS SHALL BE PERFORMED IN THE MATTERS DEEMED GOOD PRACTICE OF THE TRADE INVOLVED.
- ALL NEW MATERIALS AND FINISHES SHALL MATCH EXISTING, UNLESS SPECIFIED OTHERWISE, SE OWNER AND/OR ARCHITECT FOR APPROVAL OF ALTERNATIVES.
- PROVIDE WATER PROOFING MEMBRANE OF ALL NEW CONCRETE SLAB ON GRADE POURS.

USE AND INTERPRETATION OF THESE DRAWINGS:

- GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201, ARE A PART OF A CONTRACT DOCUMENTS AS DESCRIBE USE AND INTENT OF THE DRAWINGS. THE CONTRACT DOCUMENTS INCLUDE NOT ONLY THE DRAWINGS, BUT ALSO THE OWNER-CONTRACTOR AGREEMENT, CONDITIONS OF THE CONTRACT, THE SPECIFICATIONS, ADDENDA, AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT.
- BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER REPRESENTS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS, AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT IS COMPLETE. THE CONTRACTOR REPRESENTS THAT HE AS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, VERIFIED FIELD DIMENSIONS AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- THE CONTRACT SUM AND THE CONTRACT TIME MAY BE CHANGED ONLY BY CHANGE ORDER TO THE CONTRACTOR SIGNED BY THE OWNER AND THE ARCHITECT. ANY WORK PERFORMED IN VARIANCE WITH THE ORDER FOR A MINOR CHANGE IN THE WORK OR A CHANGE ORDER, WILL NOT BE ACCEPTED.
- AS INSTRUMENTS OF SERVICE, ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE HIS PROPERTY. THEY ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ARCHITECT. ANY SUBMISSION OR DISTRIBUTION WITHOUT THE EXPRESS WRITTEN CONSENT ON THE ARCHITECT MAY BE CONSIDERED AS DEGRADATION OF THE ARCHITECT'S COPYRIGHTS OR OTHER RESERVED RIGHTS.
- SOIL BEARINGS CAPACITIES HAVE BEEN ASSUMED AT 2000 P.S.I. UNLESS OTHERWISE CERTIFIED HEREIN. SHOULD CONDITIONS OR MATERIALS BE ENCOUNTERED THAT REDUCE THE BEARING CAPACITIES OF THE SOIL THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF THESE CONDITIONS PRIOR TO THE EXECUTION OF THIS WORK.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY TAKING MEASUREMENTS AT THE BUILDING SITE AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. ANY DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT FOR ADJUSTMENTS BEFORE ANY WORK AFFECTED THEREBY IS COMMENCED.

A.D.A

ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A ACCESSIBILITY GUIDELINES AS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT HANDBOOK, AS PUBLISHED BY THE EQUAL EMPLOYMENT OPPORTUNITY COMMISSION AND THE U.S. DEPARTMENT OF JUSTICE ON OCTOBER 1991. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE

IMPLEMENTATION OF SUCH.

SITE WORK:

- CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK SHALL VISIT THE SITE AND VERIFY THE LOCATION OF ALL UTILITIES AND DETERMINE THEIR CAPACITIES.
- COORDINATE ALL TIE IN AND SERVICE TO UTILITIES WITH THE UTILITY COMPANIES.
- PROVIDE AND PLACE ANY ADDITIONAL FILL NEEDED TO BRING EXISTING GRADES TO NEW GRADES AS INDICATED ON THE DRAWINGS OR AS SPECIFIED BY THE BUILDING AND ZONING DEPARTMENTS.
- COMPLETELY REMOVE ALL TREES, SHRUBS, STUMPS, SOD AND ALL OTHER DEBRIS FROM AREAS TO BE COVERED BY THE BUILDING AND PAVED AREAS.
- ALL FILL MATERIALS SHALL BE SAND, CLEAN AND FREE FROM ORGANIC DEBRIS.
- ALL ASPHALT CONCRETE AND PAVED AREAS SHALL HAVE A SIX INCH (6") CRUSHED STONE BASE UNIFORMLY GRADED AND COMPACTED.
- ALL FILL UNDER CONCRETE SHALL BE DEPOSITED IN THIN LAYERS, SLUSHED, TAMPED AND COMPACTED PRIOR TO CONCRETE POUR.

CONCRETE:

- TAMP FRESH POURED CONCRETE WITH STEEL RAMMER AND SLICING TOOLS UNTIL CONCRETE IS THOROUGHLY COMPACTED AND WITHOUT VOIDS.
- CONCRETE COVER SHALL BE 3" WHEN DEPOSITED AGAINST GROUND, 2" WHEN FORMED BUT IN CONTACT WITH THE GROUND, 1-1/2" IN FORMED COLUMNS AND BEAMS, AND 3/4" WHEN SLABS AND WALLS.
- CONCRETE SHALL HAVE SLUMP OF 5" MAX. AND A MIN. COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS: FOUNDATION AND SLAB ON GRADE - 3000 P.S.I. COLUMNS AND BEAMS - 3000 P.S.I.
- CONTRACTOR SHALL COORDINATE FINISHES OF SLABS AS TO ALLOW DIRECT PLACEMENT OF FINISH FLOORING WITHOUT ADDITIONAL LEVELING, FILLING, OR CUTTING.
- SLAB ON FILL SHALL BE POURED ON 6 MIL. VISQUEEN VAPOR BARRIER. WORKMEN SHALL AVOID WORKING ON BARRIER PRIOR TO POURING CONCRETE.
- ANY STRUCTURAL MEMBER PENETRATING THE SLABS ON FILL SHALL BE ISOLATED WITH 1/2" THICK PRE-MOLDED JOINT FILLER COMPLYING WITH ASTM D-1732 TYPE 1.

REINFORCEMENT:

- REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615.68 SPECIFICATIONS FOR NEW DEFORMED BILLET STEEL AND TO GRADE 60 WITH A MIN. YIELD STRENGTH OF 60,000 P.S.I. IT SHALL BE DETAILED, FABRICATED AND PLACED AS RECOMMENDED BY A.C.I.

ELECTRICAL:

- THE DRAWINGS INDICATE THE LOCATION OF EQUIPMENT, RUNS, AND OUTLETS DIAGRAMMATICALLY. INDICATED LOCATIONS ARE ESSENTIAL TO THE OVERALL AESTHETIC CONCEPT. IN THE EVENT THAT CHANGES MUST BE MADE DUE TO DEVELOPED CONDITIONS IN THE CONSTRUCTION, THE ARCHITECT SHALL BE NOTIFIED SO THAT THE APPROPRIATE CHANGES IN LOCATIONS BE MADE PRIOR TO INSTALLATION.
- UNDER NO CIRCUMSTANCE IS THE SUB-CONTRACTOR TO ASSUME LOCATIONS OF THE EQUIPMENT, RUNS OR OUTLETS WHICH ARE EXPOSED TO VIEW.
- ALL PULL AND J-BOXES ARE TO BE COMPLETELY CONCEALED.
- SUB-CONTRACTOR SHALL OBTAIN THE APPROPRIATE INSPECTOR'S APPROVAL/ACCEPTANCE OF THE INSTALLATION.



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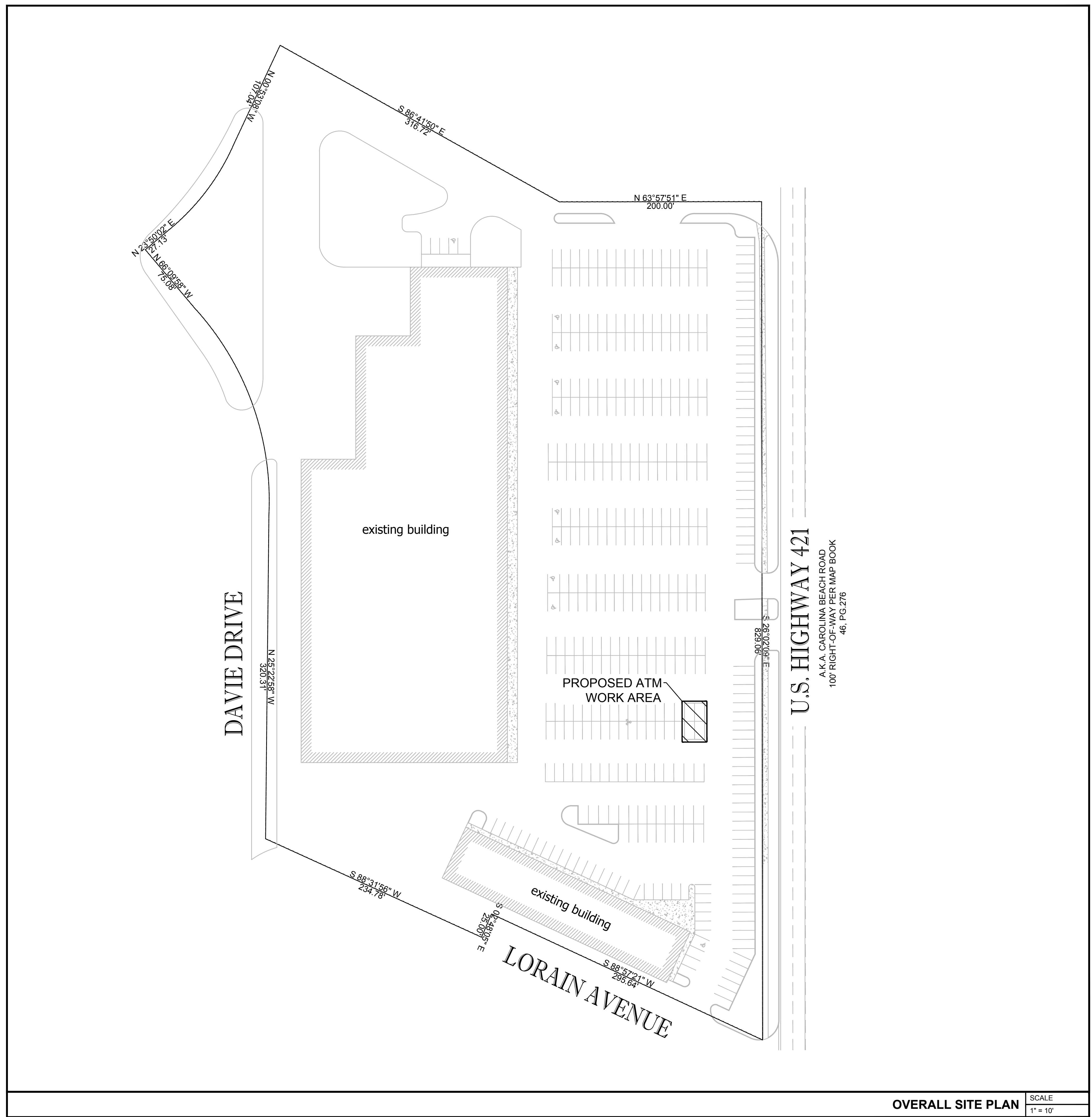
Scale

AS INDICATED

Description

CIVIL SPECIFICATIONS

**C00.01**



**OVERALL SITE PLAN** SCALE 1" = 10'

**LEGEND:**

	HANDICAP PARKING
	EXISTING CONCRETE
	EXISTING

**SITE AREAS:**

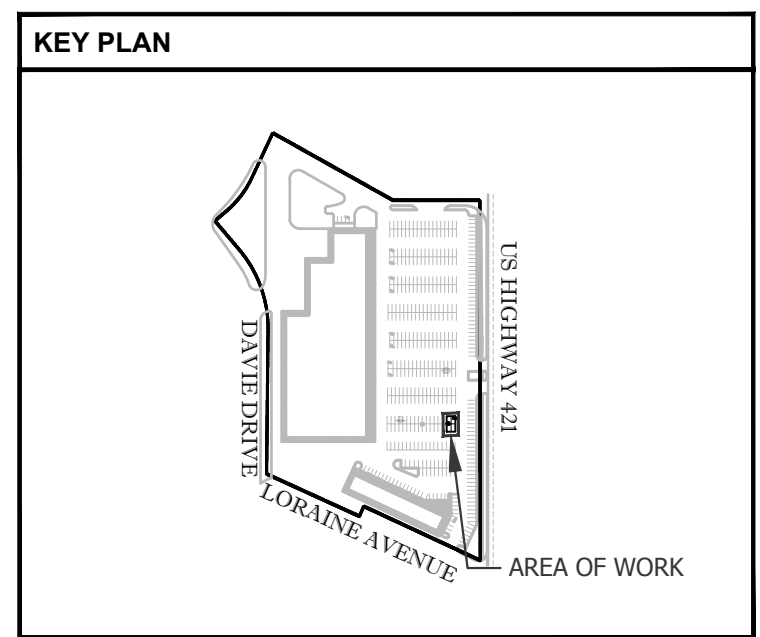
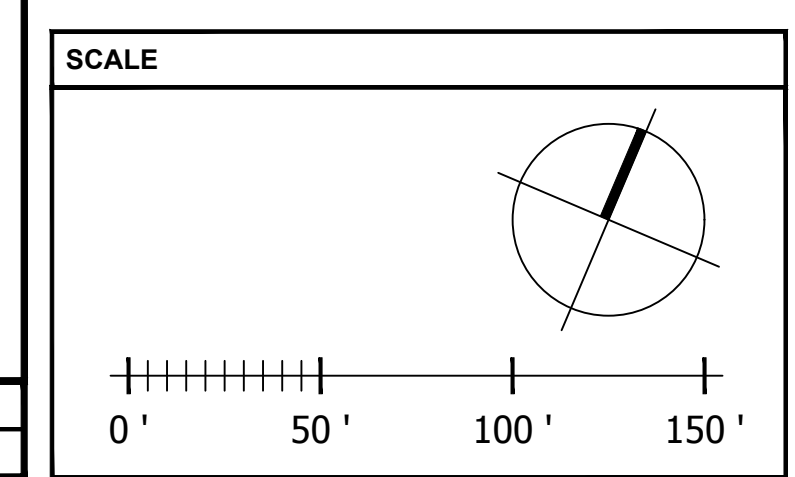
	PROPOSED AREAS		EXISTING AREAS	
GROSS SITE AREA	=	397,228.66 SF 100%	397,228.66 SF	100%
PERVIOUS AREA:	=	42,695.85 SF 11%	42,695.85 SF	11%
IMPERVIOUS AREA:	=	354,632.81 SF 89%	354,632.81 SF	89%

**PARKING DATA:**

EXISTING PARKING SPACES	=	420 SPACES
PARKING SPACES TO BE REMOVED FOR PROPOSED ATM	=	4 SPACES
PROPOSED PARKING SPACES	=	416 SPACES

**TREE REMOVAL NOTE:**

THERE WILL BE NO TREE REMOVAL AS PART OF THIS PROJECT.



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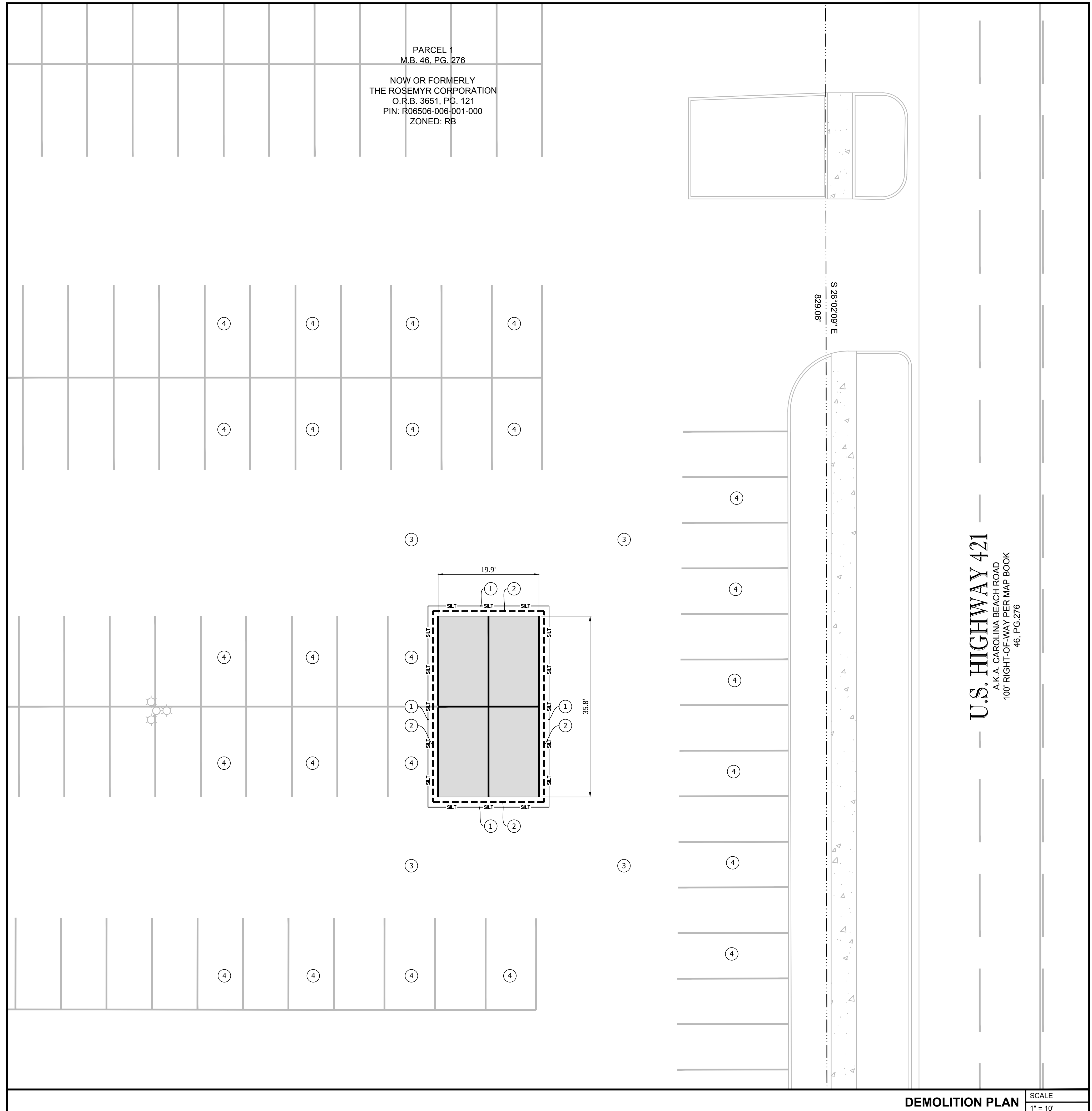
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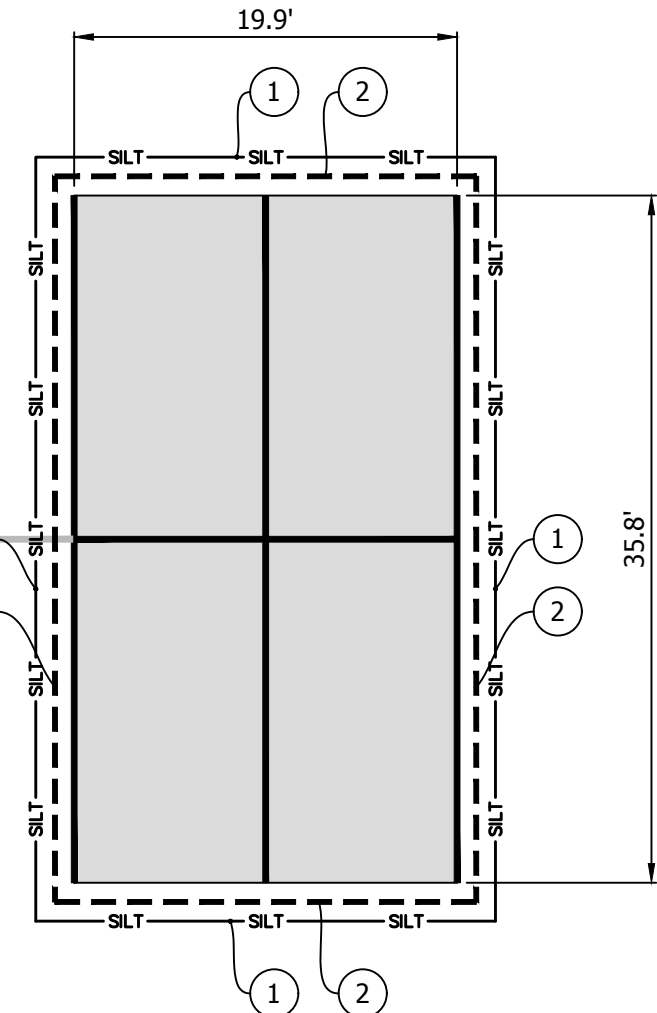
**Scale**  
 AS INDICATED

**Description**  
 OVERALL SITE PLAN

**C01.00**



PARCEL 1  
M.B. 46, PG. 276  
NOW OR FORMERLY  
THE ROSEMYR CORPORATION  
O.R.B. 3651, PG. 121  
PIN: R06506-006-001-000  
ZONED: RB



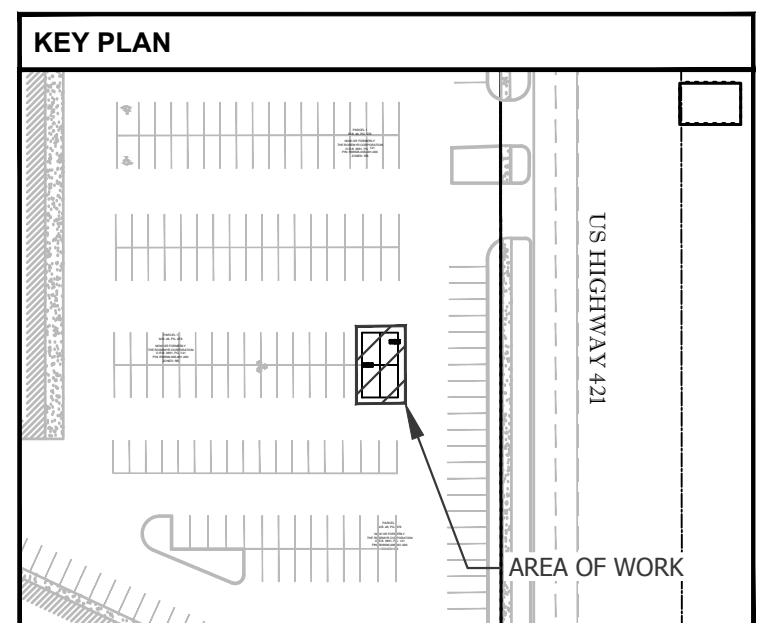
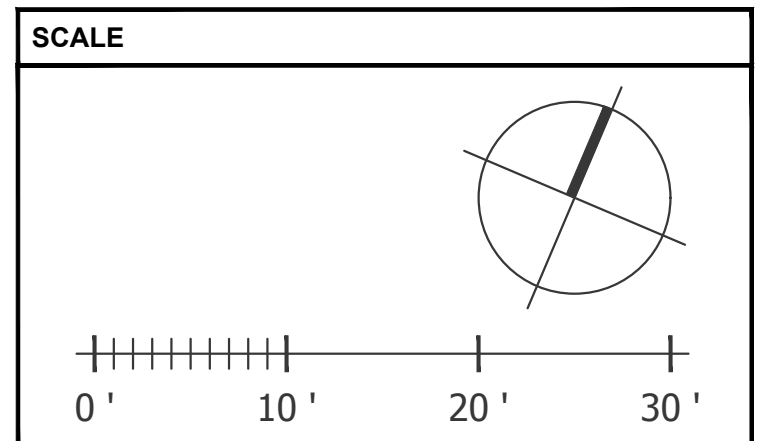
**LEGEND:**

	CONCRETE SIDEWALK TO BE SAWCUT AND REMOVED
	ASPHALT PAVEMENT TO BE REMOVED
	EXISTING CONCRETE TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING TO REMAIN

- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL CHECK PLANS AND FIELD CONDITIONS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICT BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
  2. ALL EXISTING IMPROVEMENTS ARE TO REMAIN UNLESS OTHERWISE NOTED.
  3. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WITHIN AREA OF WORK TO BE PERFORMED PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
  4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
  5. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, THE CONTRACTOR SHALL COMPLY WITH REGULATIONS. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF ITS PERSONNEL. LABOR SAFETY REGULATIONS SHALL BE AS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF LABOR.
  6. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

**KEYED NOTES:**

①	EROSION CONTROL (36" HEIGHT SILT FENCE)
②	LIMITS OF CONSTRUCTION
③	EXISTING DRIVEWAY AND DRIVE AISLES TO REMAIN
④	EXISTING PARKING TO REMAIN
⑤	EXISTING ASPHALT PAVEMENT TO BE REMOVED (NOTE: BASE AND SUB-BASE TO BE REMOVED WITHIN LIMITS OF NEW LANDSCAPE ISLAND)



**DEMOLITION PLAN** SCALE 1" = 10'

**Bank of America**  
Shipyard Plaza ATM- UB  
2632-2642 Carolina Beach Rd, Wilmington, NC 28401

M. Arthur Gensler Jr. & Associates Inc.  
**Gensler**  
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www.iggroup.net  
NC Firm Certificate No. P-1836

Date	Description
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NISIT SAPPARKHAO, P.E.  
NC REG. NO. 38066

DATE

**Project Name**  
Shipyard Plaza ATM- UB

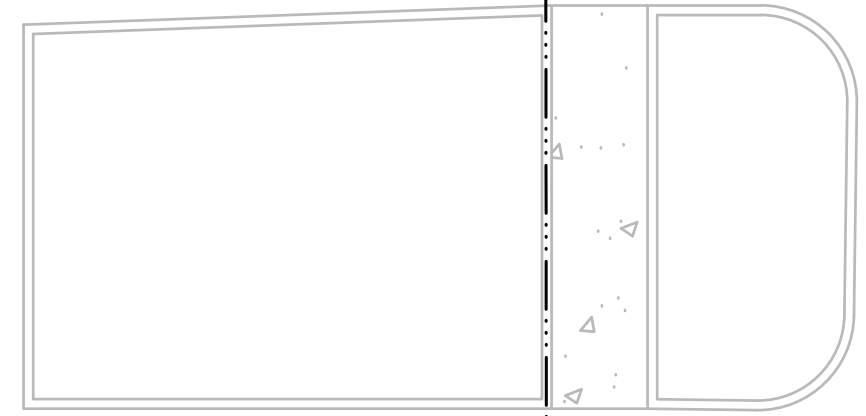
**Project Number**  
69.6191.980 / 10-629.00

**Scale**  
AS INDICATED

**Description**  
DEMOLITION PLAN

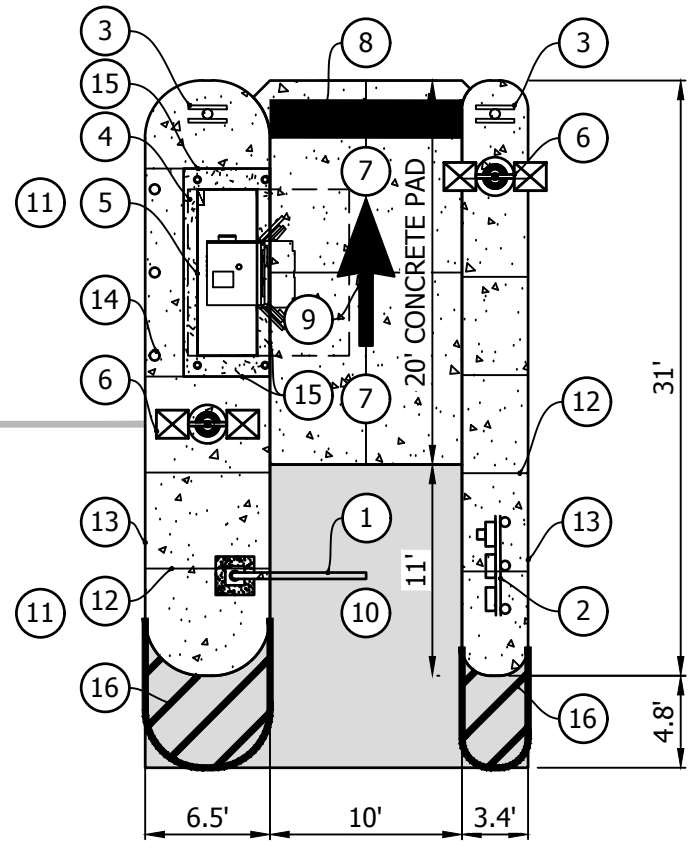
**C01.01**

PARCEL 1  
M.B. 46, PG. 276  
NOW OR FORMERLY  
THE ROSEMYR CORPORATION  
O.R.B. 3651, PG. 121  
PIN: R06506-006-001-000  
ZONED: RB



S 26° 02' 09" E  
829.06'

U.S. HIGHWAY 421  
A.K.A. CAROLINA BEACH ROAD  
100' RIGHT-OF-WAY PER MAP BOOK  
46, PG. 276



**LEGEND:**

	PROPOSED CONCRETE
	EXISTING CONCRETE
	PROPOSED ASPHALT PAVEMENT
	EXISTING CURBING
	PROPOSED CURBING
	H/C AND PARKING STRIPING

**LANDSCAPE & IRRIGATION NOTES:**

ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL HAVE THE TURF RESTORED TO EXISTING CONDITIONS (OR BETTER), UNLESS OTHERWISE INDICATED IN THE PLANS OR SPECIAL PROVISIONS.

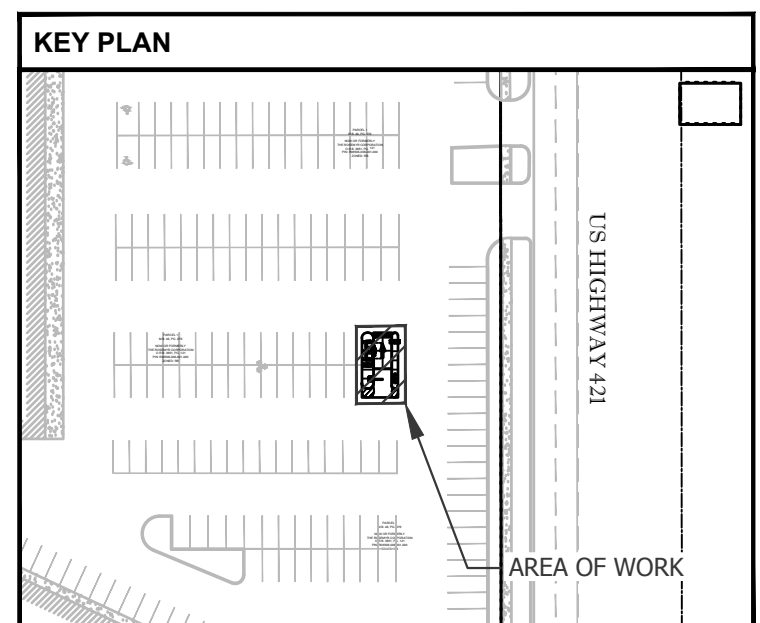
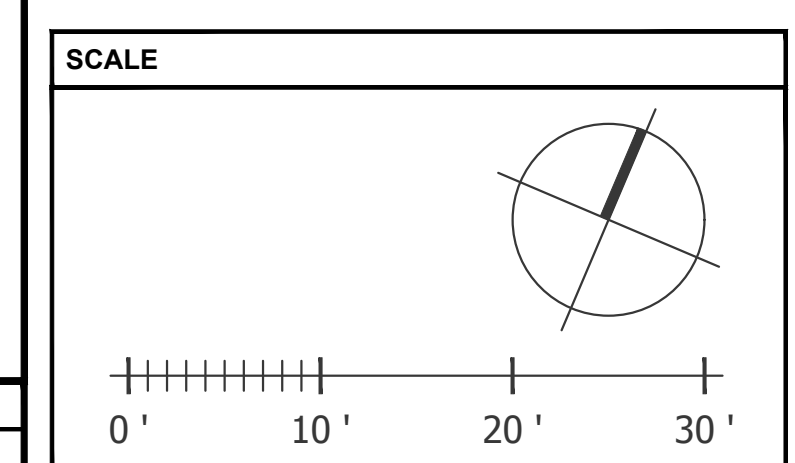
CONTRACTOR TO MAKE ADJUSTMENTS TO IRRIGATION AS NEEDED.

**EXPANSION JOINT NOTE:**

CONTRACTOR TO INSTALL EXPANSION JOINTS ALONG ALL NEW SIDEWALK WHEN ABUTTING NEW AND EXISTING STRUCTURES AND EXISTING CONCRETE SIDEWALKS.

**KEYED NOTES:**

1	NEW CLEARANCE BAR
2	FREE STANDING ELECTRICAL/DATA SERVICE RACK
3	NEW "DO NOT ENTER" / "STOP" SIGN
4	NEW ATM FOUNDATION / CONCRETE SLAB
5	NEW HYOSUNG 7800C DU ATM WITH FRAME-R-UB-DU-H7800I-CEN1 AND REQUIRED BOLLARDS
6	NEW LIGHT POLE (TYPICAL OF 2)
7	NEW 6-INCH CONCRETE PAVEMENT
8	NEW 24" "WHITE" PAINTED STOP BAR
9	NEW "WHITE" PAINTED DIRECTIONAL ARROW (TYPICAL)
10	NEW ASPHALT PAVEMENT
11	EXISTING DRIVE AISLES/PARKING
12	SAWCUT A 1/4" CONTROL JOINT AS SHOWN. NEW CONTROL JOINT DEPTH MUST BE A MINIMUM OF 25% OF THE OVERALL SLAB DEPTH AND BE PERFORMED WITHIN 12 HR OF POUR. (TYPICAL). SEE DETAIL SHEET C12.01.
13	NEW RAISED CONCRETE ISLAND (TYPICAL)
14	NEW 6" BOLLARD (TYP OF 3) @ 4' O.C.
15	EXPANSION JOINT (TYP)
16	NEW 4" WHITE PAINT STRIPING @ 24" O.C.



**SITE PLAN** SCALE 1" = 10'

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Shipyard Plaza ATM- UB

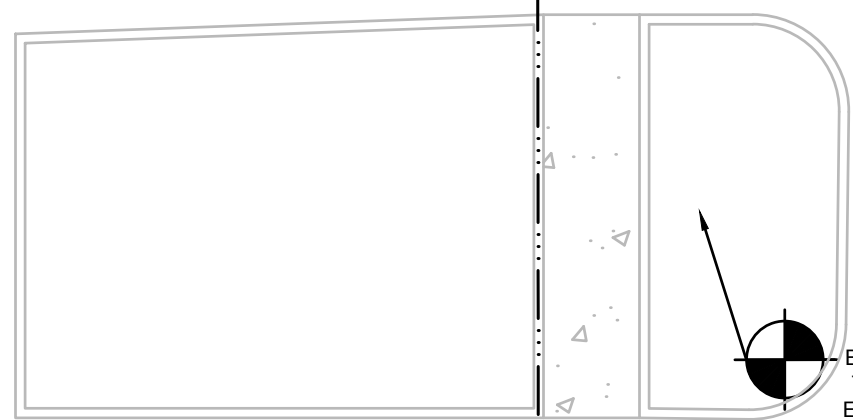
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69.6191.980 / 10-629.00

**Scale**  
AS INDICATED

**Description**  
SITE PLAN

**C02.01**

PARCEL 1  
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NOW OR FORMERLY  
THE ROSEMYR CORPORATION  
O.R.B. 3651, PG. 121  
PIN: R06506-006-001-000  
ZONED: RB



BENCHMARK SET  
TOP OF 1/2" REB  
ELEVATION: 53.56'  
(NAVD 88)

S 26°02'09" E  
829.06'

U.S. HIGHWAY 421  
A.K.A. CAROLINA BEACH ROAD  
100' RIGHT-OF-WAY PER MAP BOOK  
46, PG. 276

**LEGEND:**

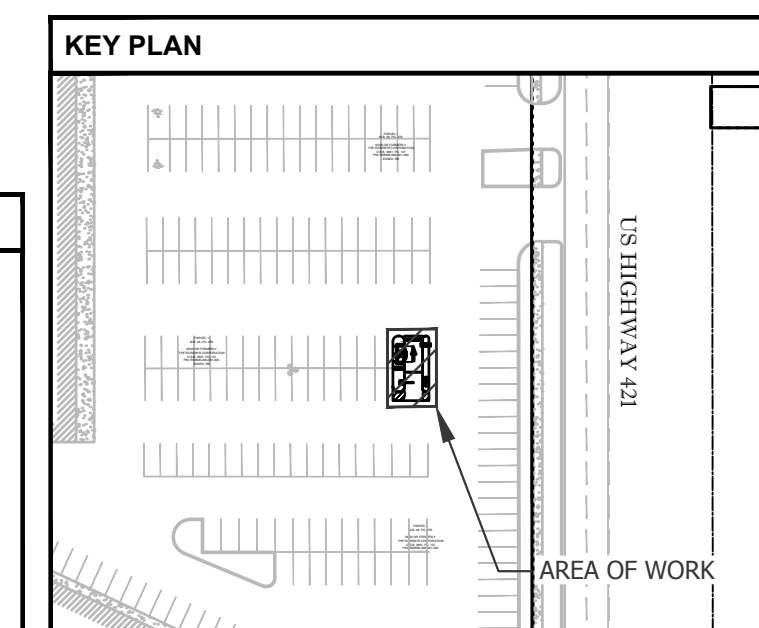
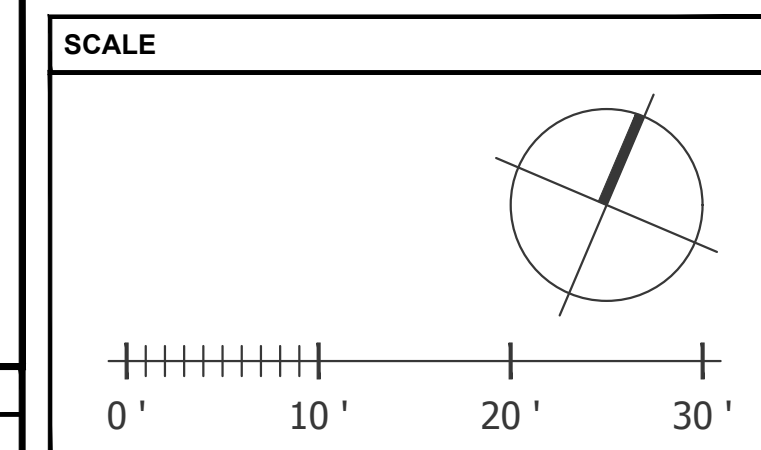
	EXISTING CONCRETE
	PROPOSED CONCRETE
	PROPOSED CURB
	EXISTING CURBING
	HIGH POINT
	EXISTING GRADE
	PROPOSED TOP OF CONCRETE ELEVATION IN FEET.
	PROPOSED EDGE OF PAVEMENT ELEVATION IN FEET.
	PROPOSED EDGE OF PAVEMENT ELEVATION IN FEET.
	FINISH FLOOR ELEVATION
	MATCH EXISTING GRADE
	TOP OF CONCRETE

**GRADING NOTE:**

- ADJUST EXISTING BASE THICKNESS DEPTH AS NEEDED TO MEET THE PROPOSED GRADES.
- BUILDING AND PEDESTRIAN SIDEWALKS AND PEDESTRIAN CROSSING TO HAVE A MAXIMUM OF 2.00% CROSS SLOPE AND 5.00% RUNNING SLOPE.
- CONTRACTOR TO MAINTAIN EXISTING DRAINAGE PATTERN TO PREVENT ANY PONDING AREA.
- ALL IMPROVEMENTS WITHIN DASHED LINES ARE TO HAVE A SLOPE NO MORE THAN 2.00% IN ANY DIRECTION.
- ALL FINISHED LANDSCAPING TO HAVE A SLOPE NO MORE THAN 33.33% (1 TO 3) UNLESS OTHERWISE SPECIFIED.

**EROSION CONTROL MEASURE NOTES:**

REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED AND MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AND INITIATION OF CIVIL PENALTY PROCEDURES.



**GRADING PLAN** SCALE 1" = 10'

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Project Number  
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AS INDICATED

Description  
GRADING PLAN

**C03.01**



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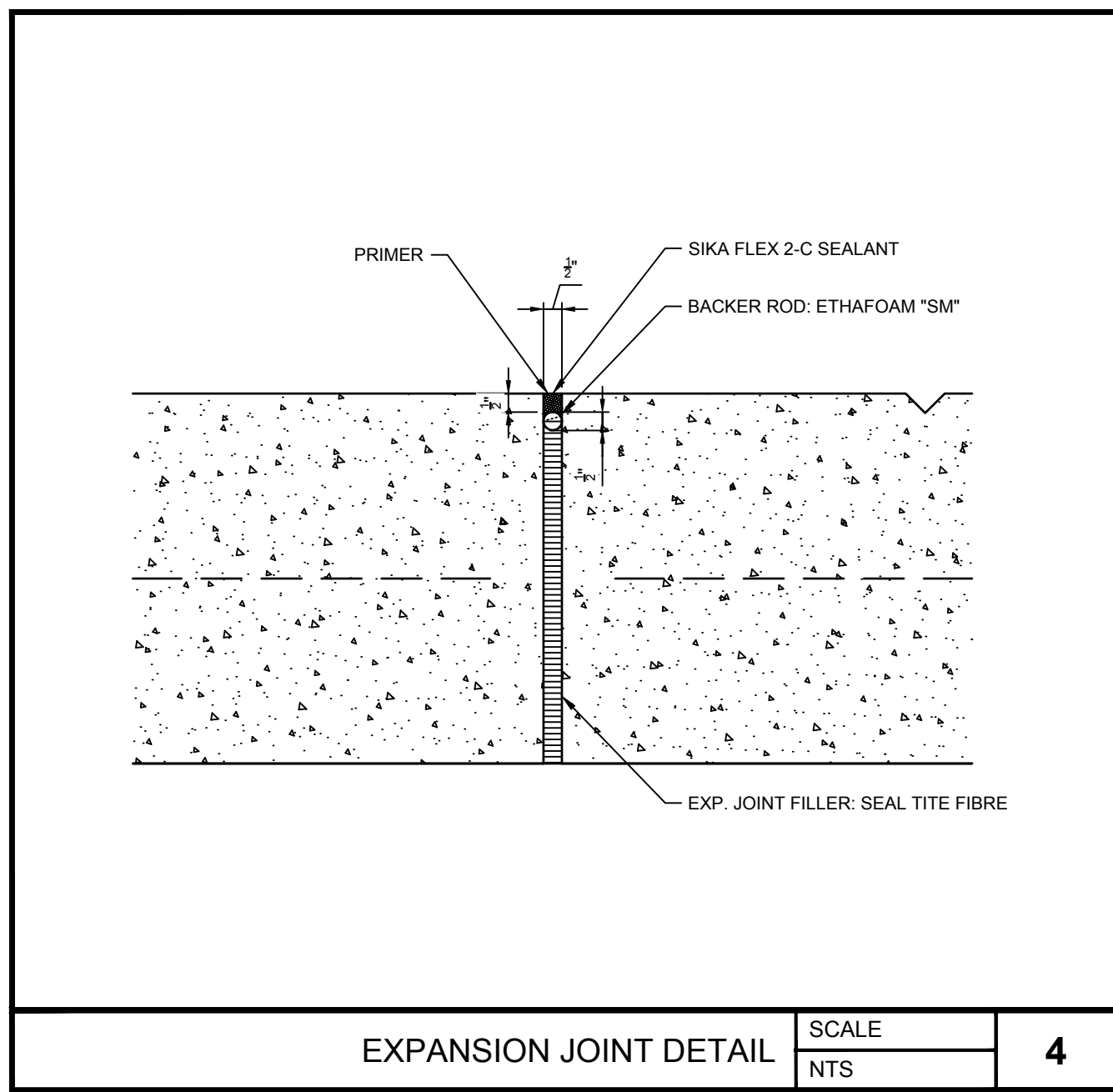
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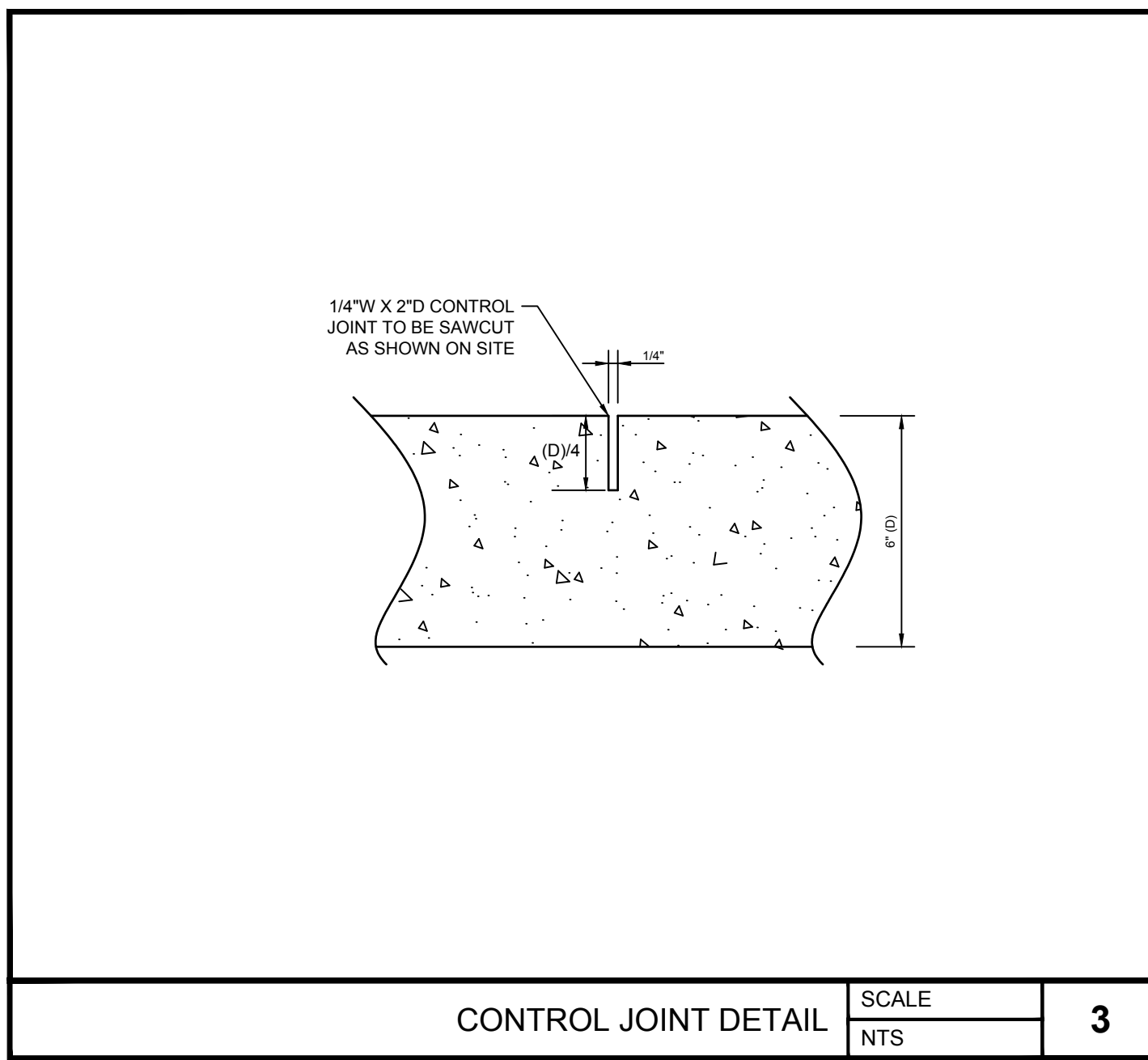
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DETAILS

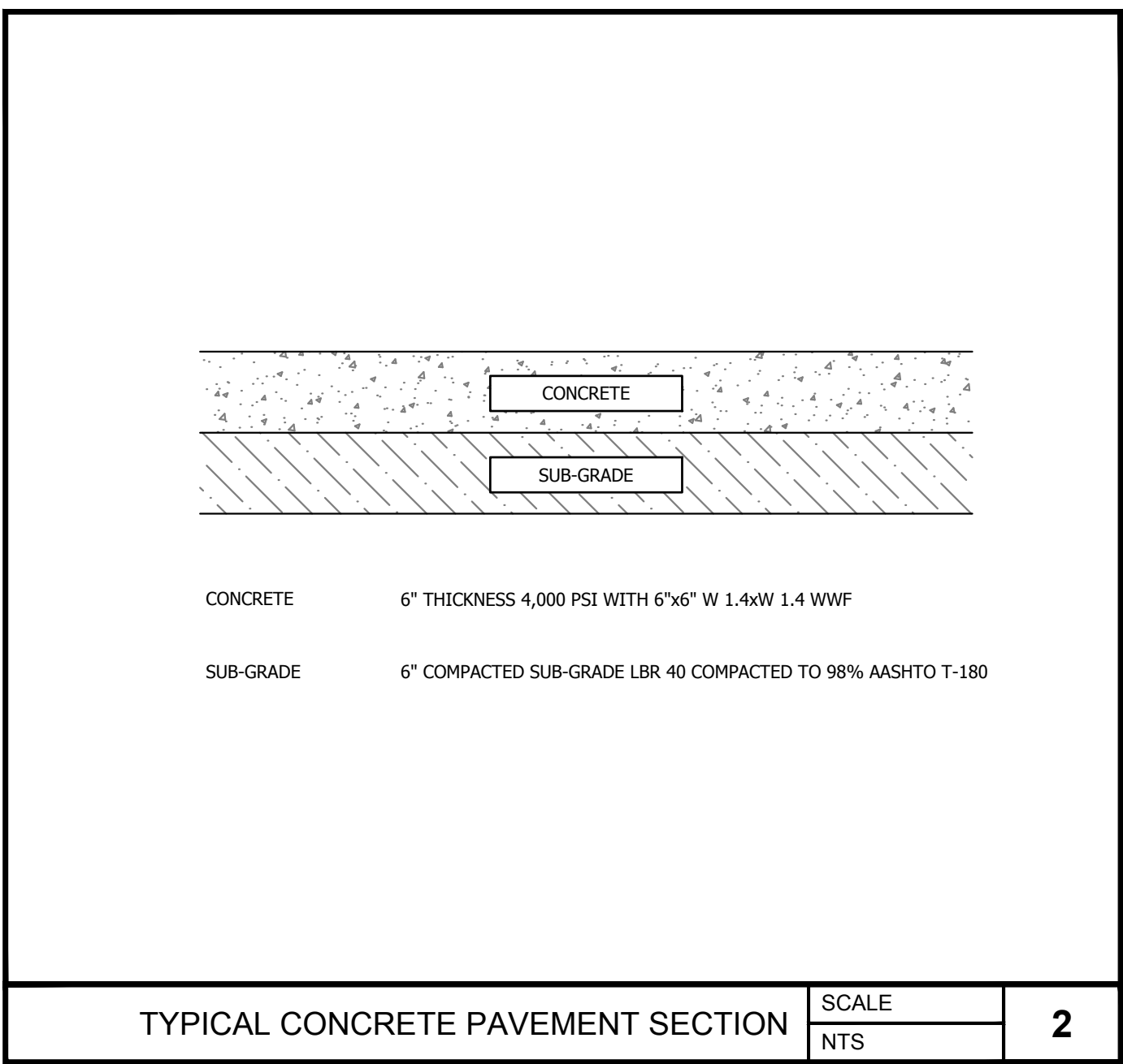
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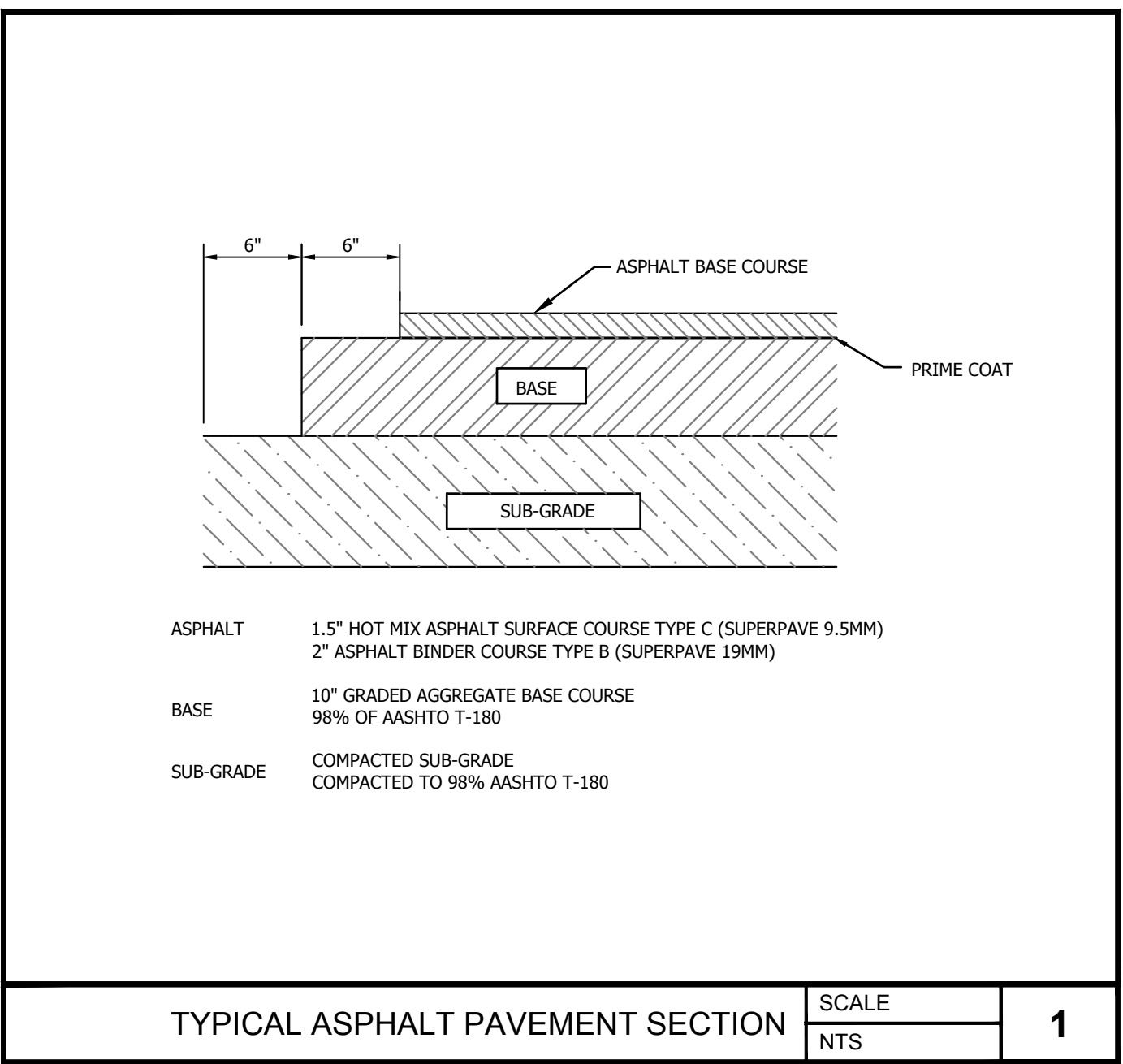
EXPANSION JOINT DETAIL SCALE NTS 4



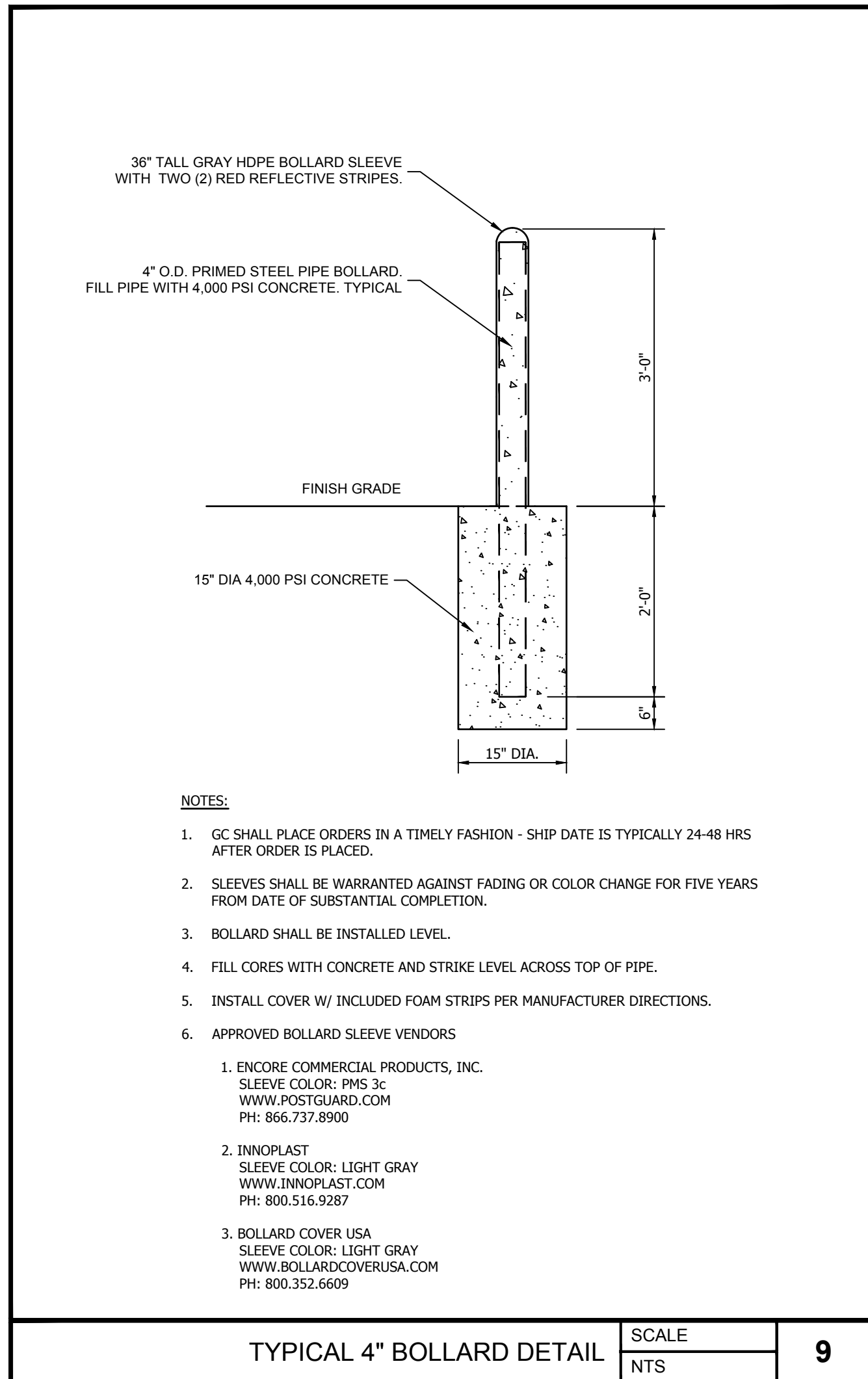
CONTROL JOINT DETAIL SCALE NTS 3



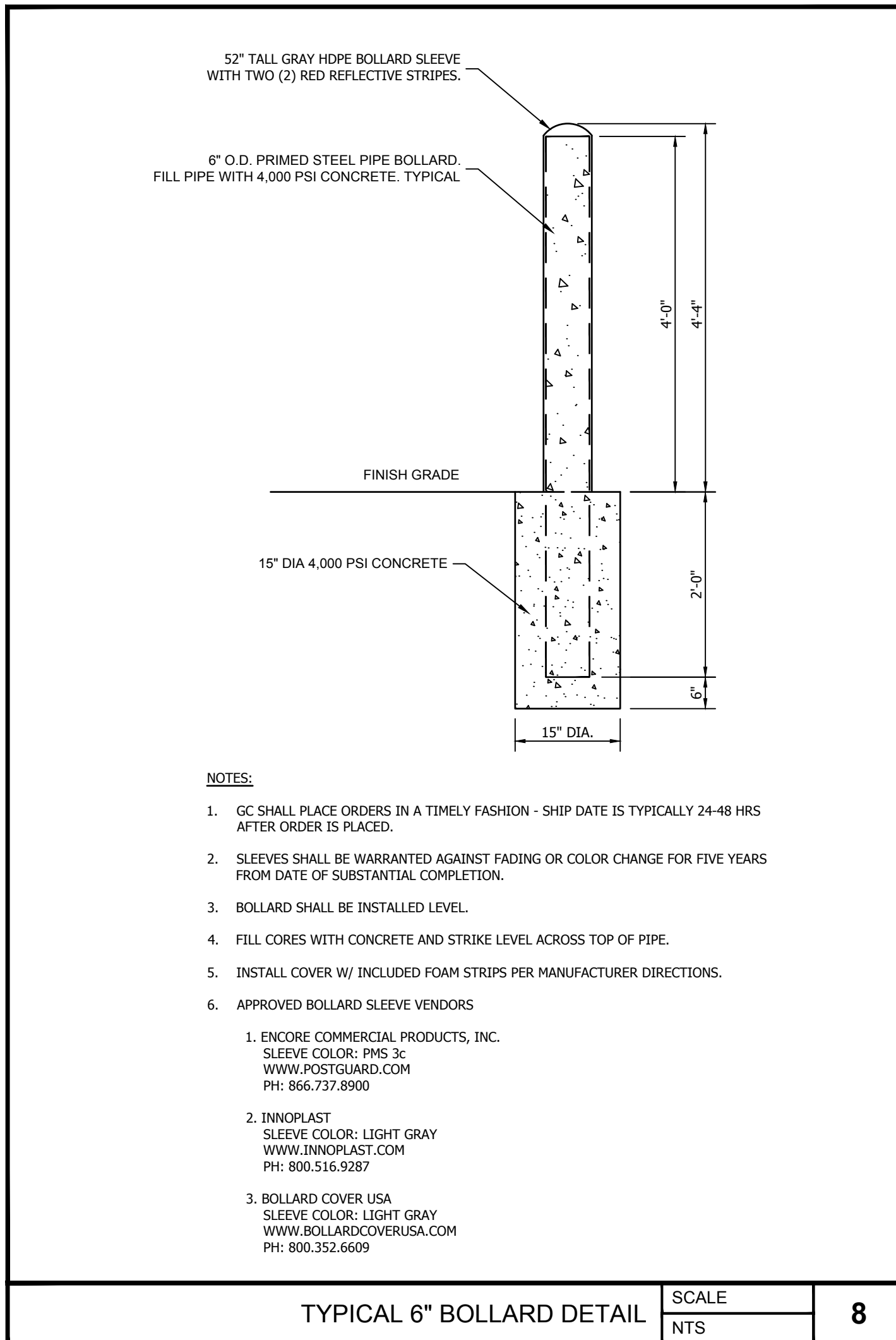
TYPICAL CONCRETE PAVEMENT SECTION SCALE NTS 2



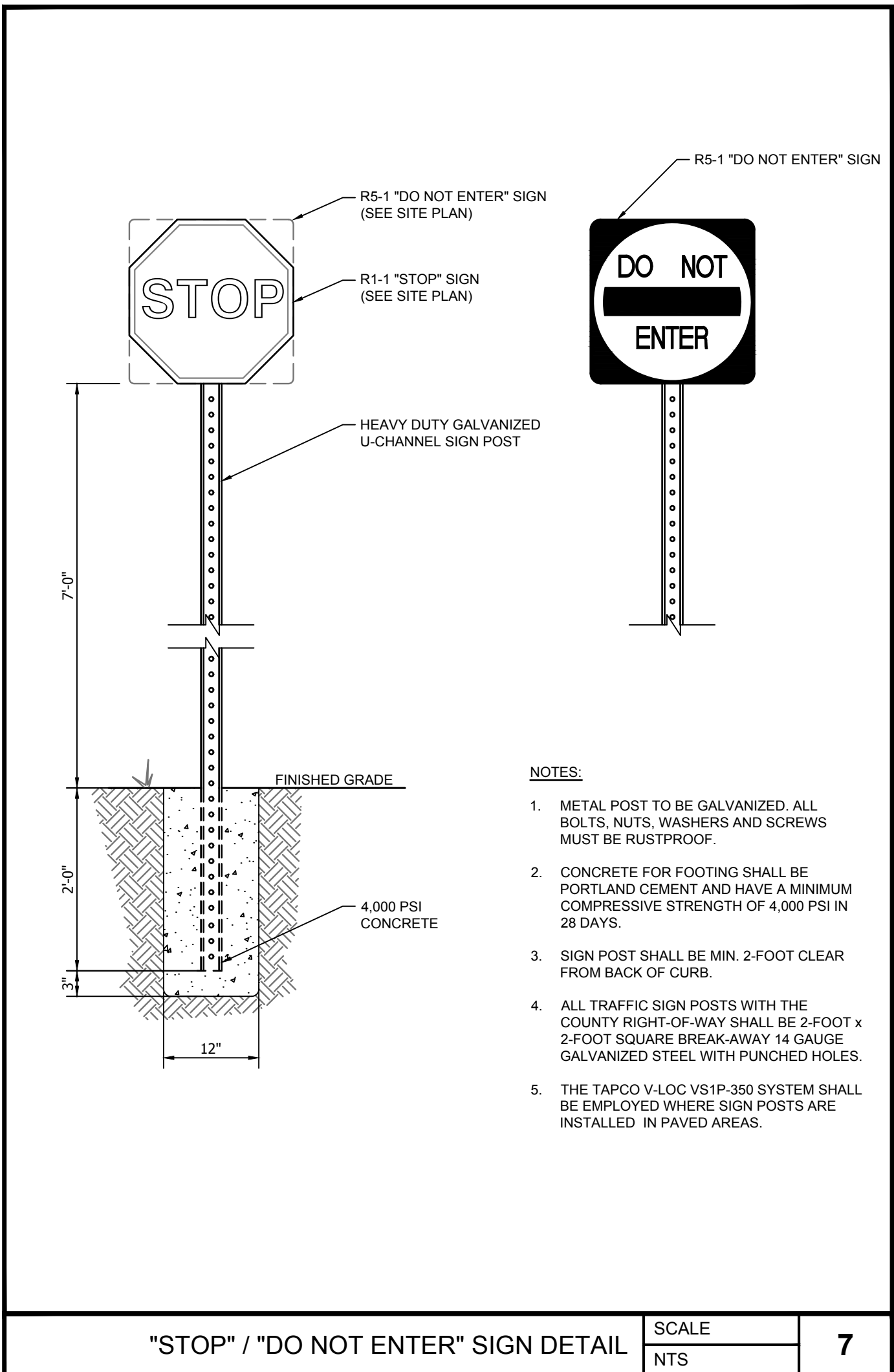
TYPICAL ASPHALT PAVEMENT SECTION SCALE NTS 1



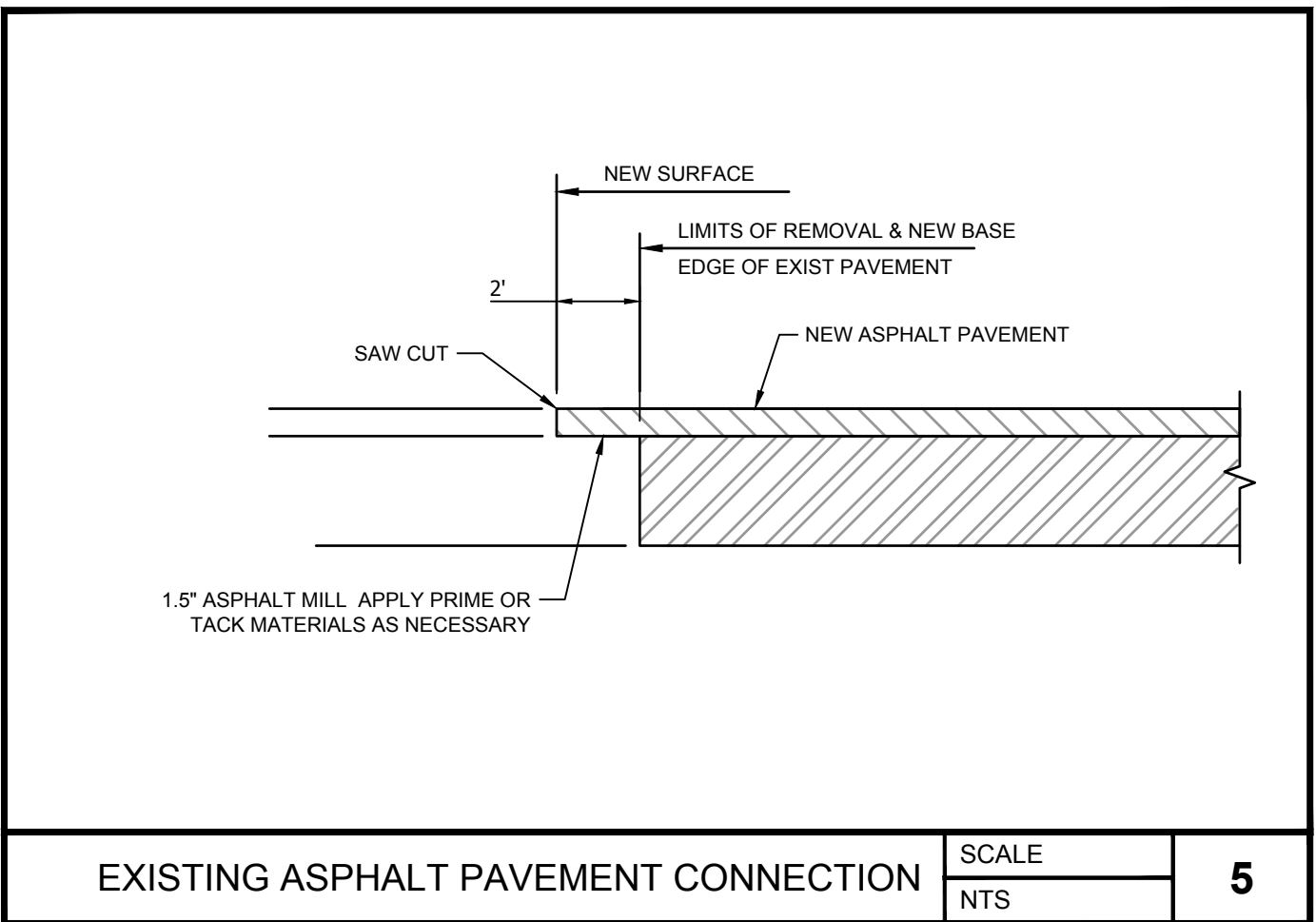
TYPICAL 4\"/>



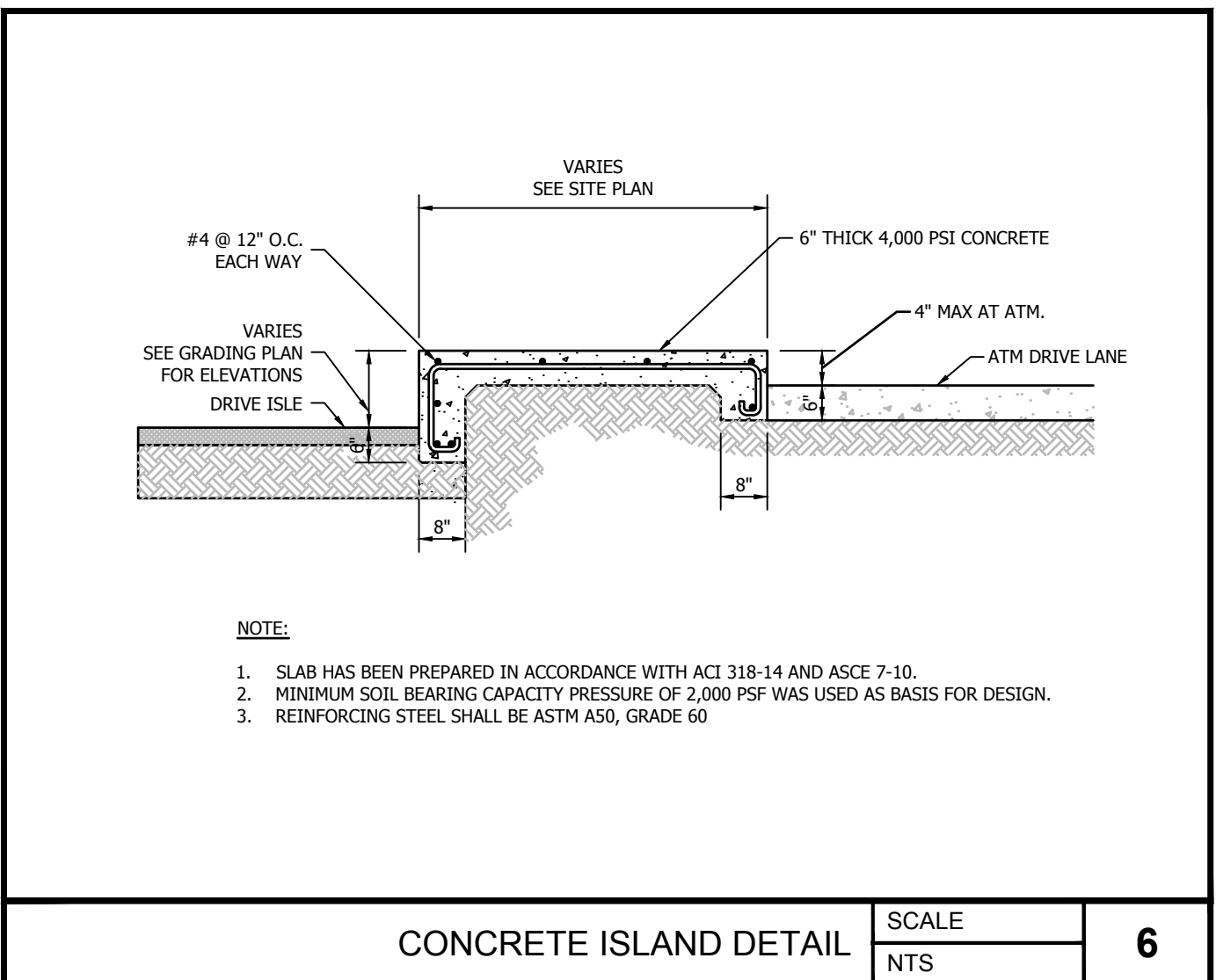
TYPICAL 6\"/>



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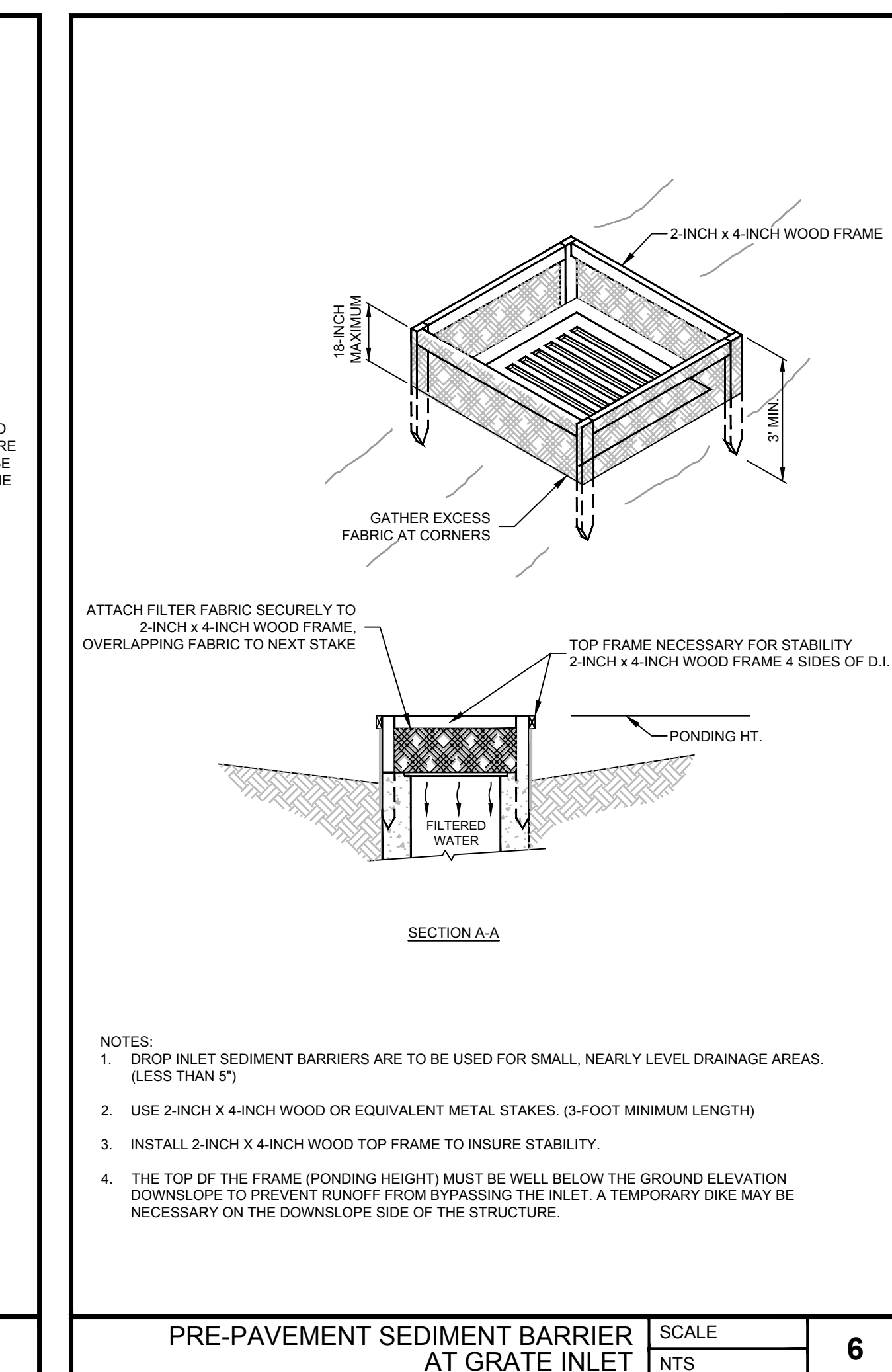
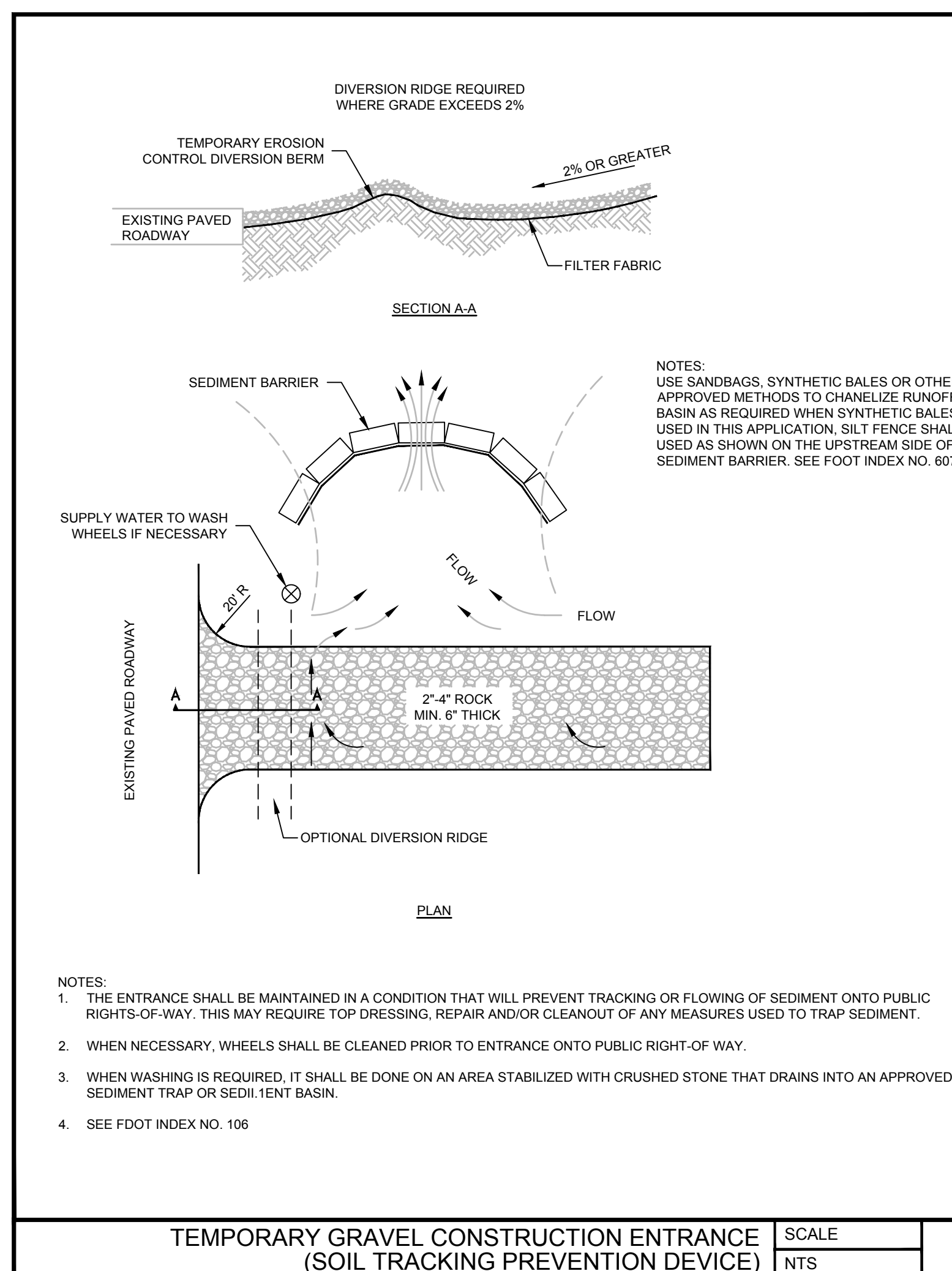
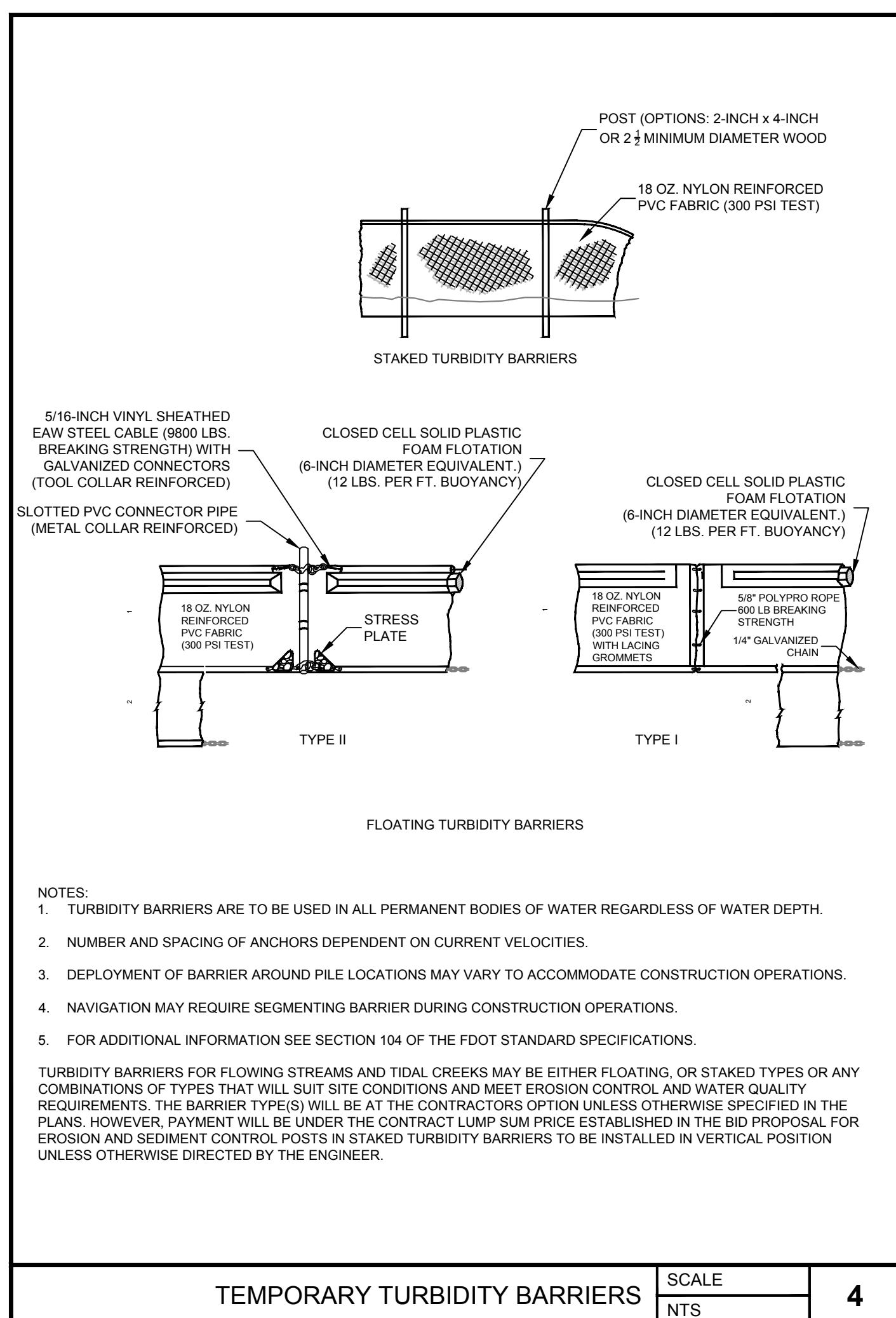
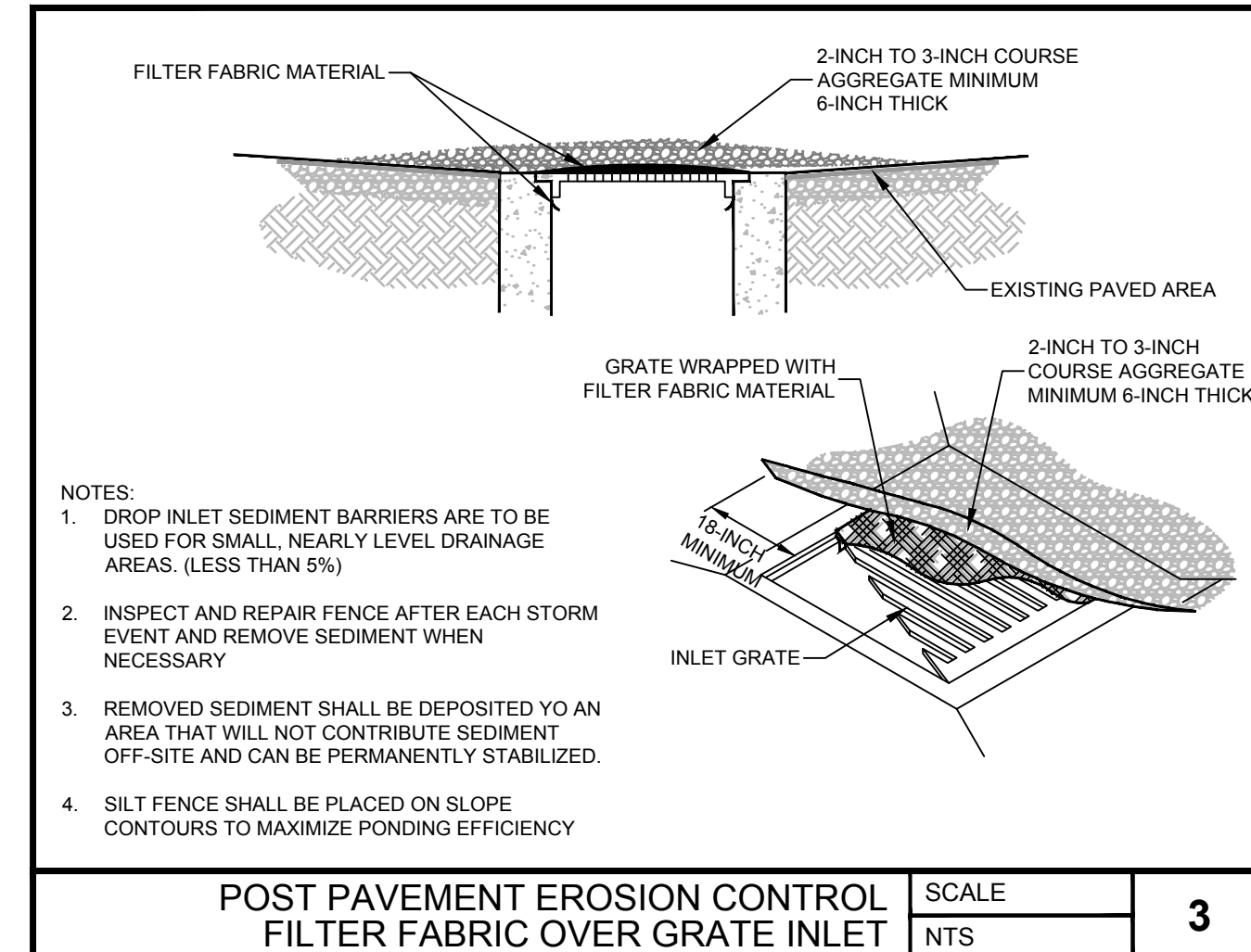
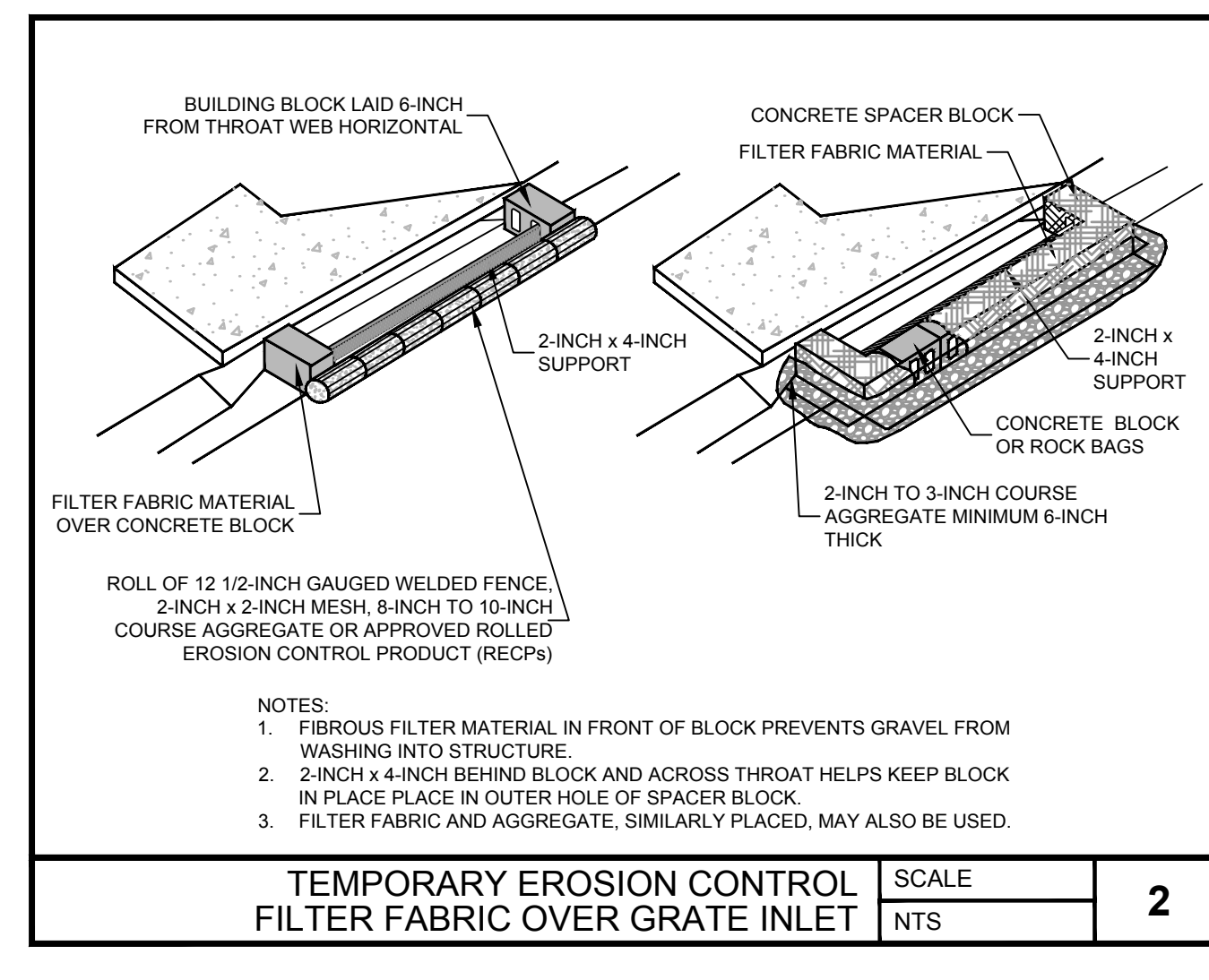
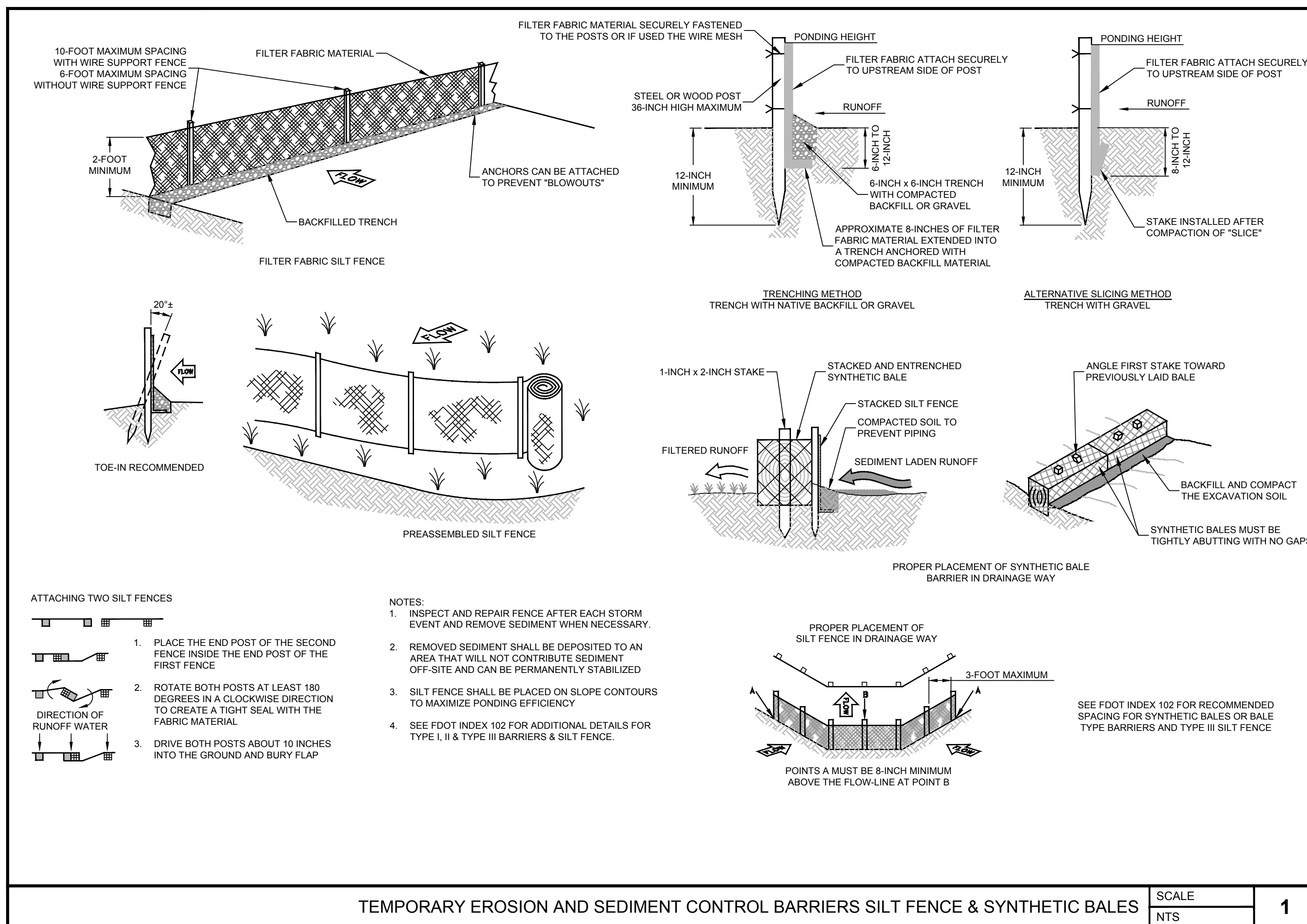


EXISTING ASPHALT PAVEMENT CONNECTION SCALE NTS 5



CONCRETE ISLAND DETAIL SCALE NTS 6





**GENERAL NOTES:**

- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
- ADDITIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
- CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST MANAGEMENT PRACTICES (BMP) AND MOST CURRENT EROSION AND SEDIMENT CONTROL PRACTICES. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.

**PRE-CONSTRUCTION SITE PROTECTION:**

- EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAIL SHEET FOR TYPICAL CONSTRUCTION.
- ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
- DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD (1/3) THE HEIGHT OF THE BARRIER OR INLET. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- ALL DISTURBED AREAS ARE TO BE STABILIZED THROUGH COMPACTION, SILT SCREENS, SYNTHETIC BALES, AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.

**SITE PROTECTION:**

- THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED PROPERLY. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 6 INCHES. BARRIER IS STAKED, THE EXCAVATED SOIL OR GRAVEL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER. USING WIRE BACKING FOR SUPPORT IS DISCOURAGED DUE TO DISPOSAL PROBLEMS.
- WATER OR SLURRY USED TO CONTROL DUST SHALL BE RETAINED ON THE SITE AND NOT ALLOWED TO RUN DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.
- SPECIAL AREAS SHALL BE DESIGNATED AS VEHICLE AND EQUIPMENT WASHING AREAS AND SUCH AREAS SHALL NOT ALLOW RUNOFF TO FLOW DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.
- SILT FENCE BARRIERS ARE NOT TO BE USED WHERE CONCENTRATED FLOWS OF WATER ARE ANTICIPATED SUCH AS DRAINAGE DITCHES, AROUND INLETS OR ABOVE/BELOW WHERE CULTURTS DISCHARGE.
- SYNTHETIC BALES, SANDBAGS OR OTHER APPROVED DEVICE FACED WITH FILTER FABRIC SHALL BE USED IN HIGH VOLUME AREAS TO DECREASE THE RUNOFF VELOCITY AND SHALL BE SECURELY ANCHORED.
- ALL DEVICES INCLUDING SILT FENCE, FILTER BARRIERS, SYNTHETIC BALES AND/OR SANDBAGS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BARRIERS. END RUNS AND UNDERCUTTING BENEATH BARRIERS.
- ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

**STORM DRAIN INLET PROTECTION:**

- FILTER FABRIC SHALL BE LAID OVER INLETS SO THAT THE FABRIC EXTEND A MINIMUM OF 1 FOOT BEYOND EAST SIDE OF THE INLET STRUCTURE. FILTER FABRIC IN CONFORMANCE WITH D.O.T. OR COMPARABLE SHALL BE USED. IF MORE THAN ONE STRIP OF FABRIC IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.
- 2-INCH - 3-INCH COARSE AGGREGATE SHALL BE PLACED OVER THE FILTER FABRIC. THE DEPTH OF STONE SHALL BE AT LEAST 6 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
- IF STONE FILTERS BECOME CLOGGED WITH SEDIMENT SO THAT THEY NO LONGER ADEQUATELY PERFORM THEIR FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.

**POST-CONSTRUCTION SITE PROTECTION:**

- ALL DEWATERING, EROSION AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE BEEN STABILIZED.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER TEMPORARY BARRIERS ARE, NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
- ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.

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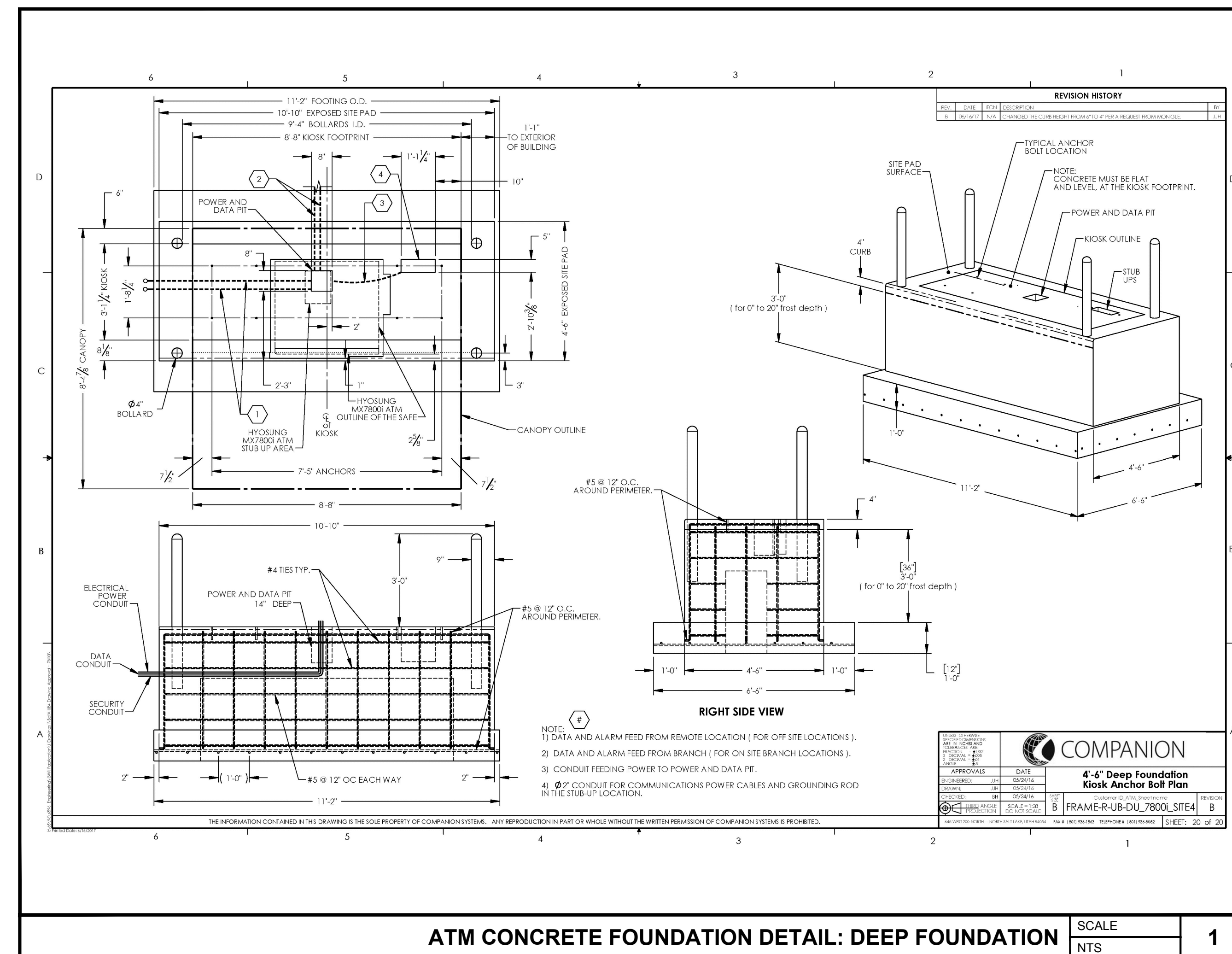
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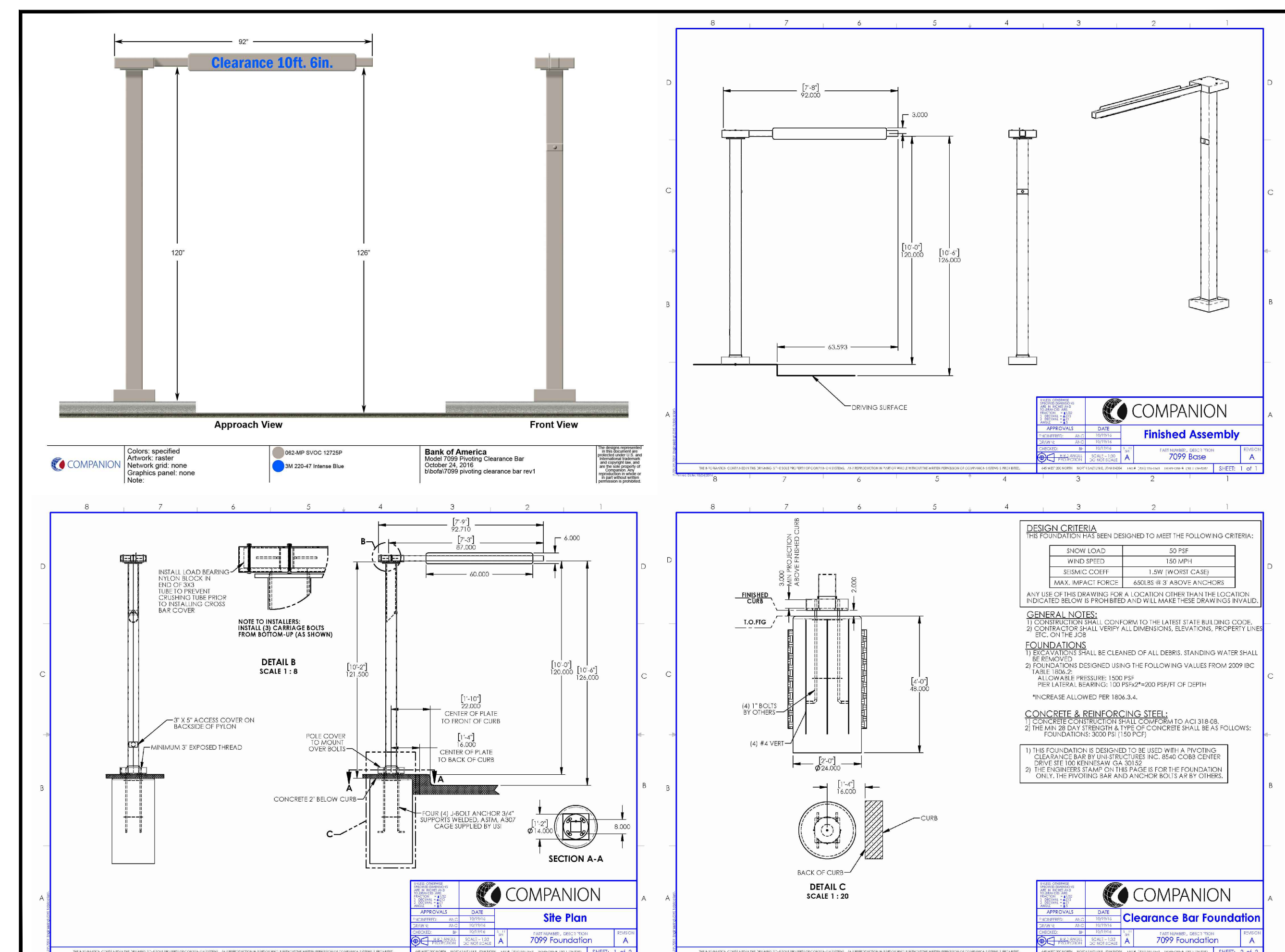
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Project Name	Shipyard Plaza ATM- UB
Project Number	69.6191.980 / 10-629.00
Scale	AS INDICATED
Description	DETAILS

REFER TO FINAL MANUFACTURER'S  
DESIGN DRAWINGS PRIOR TO  
CONSTRUCTION



ATM CONCRETE FOUNDATION DETAIL: DEEP FOUNDATION SCALE NTS 1



CLEARANCE BAR DETAIL SCALE NTS 2

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Seal / Signature

FOR REFERENCE ONLY

DATE

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Project Number

69.6191.980 / 10-629.00

Scale

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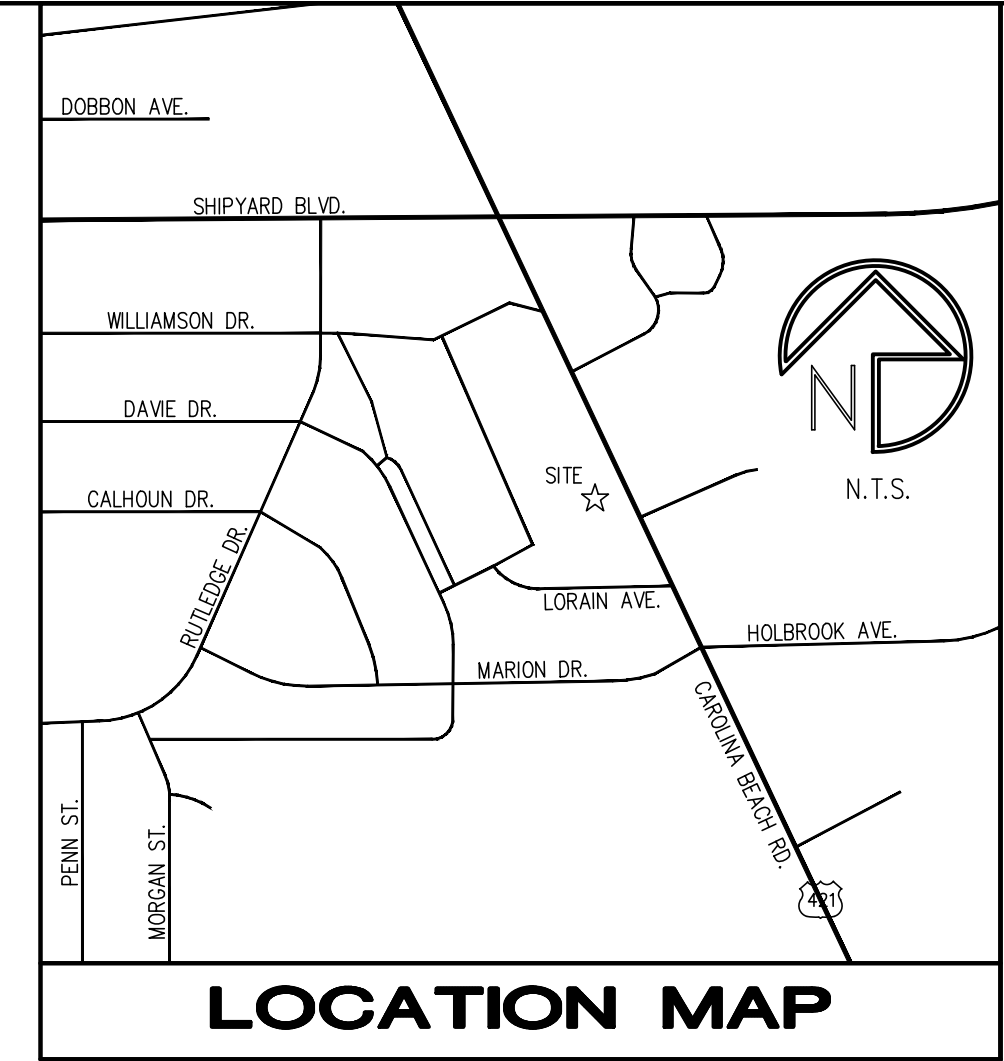
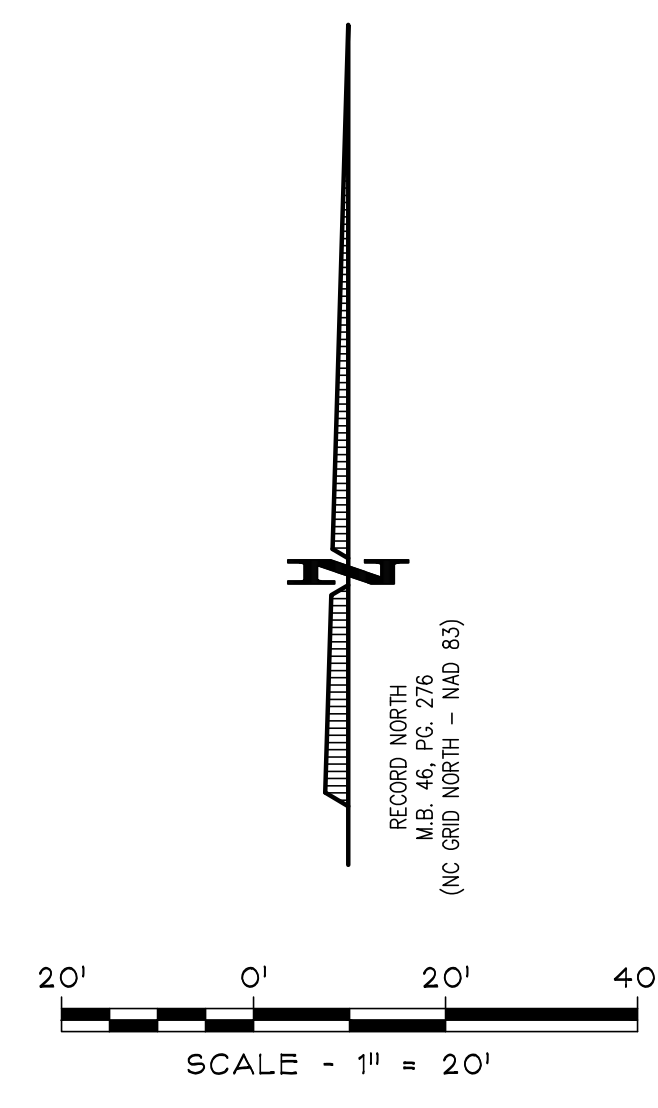
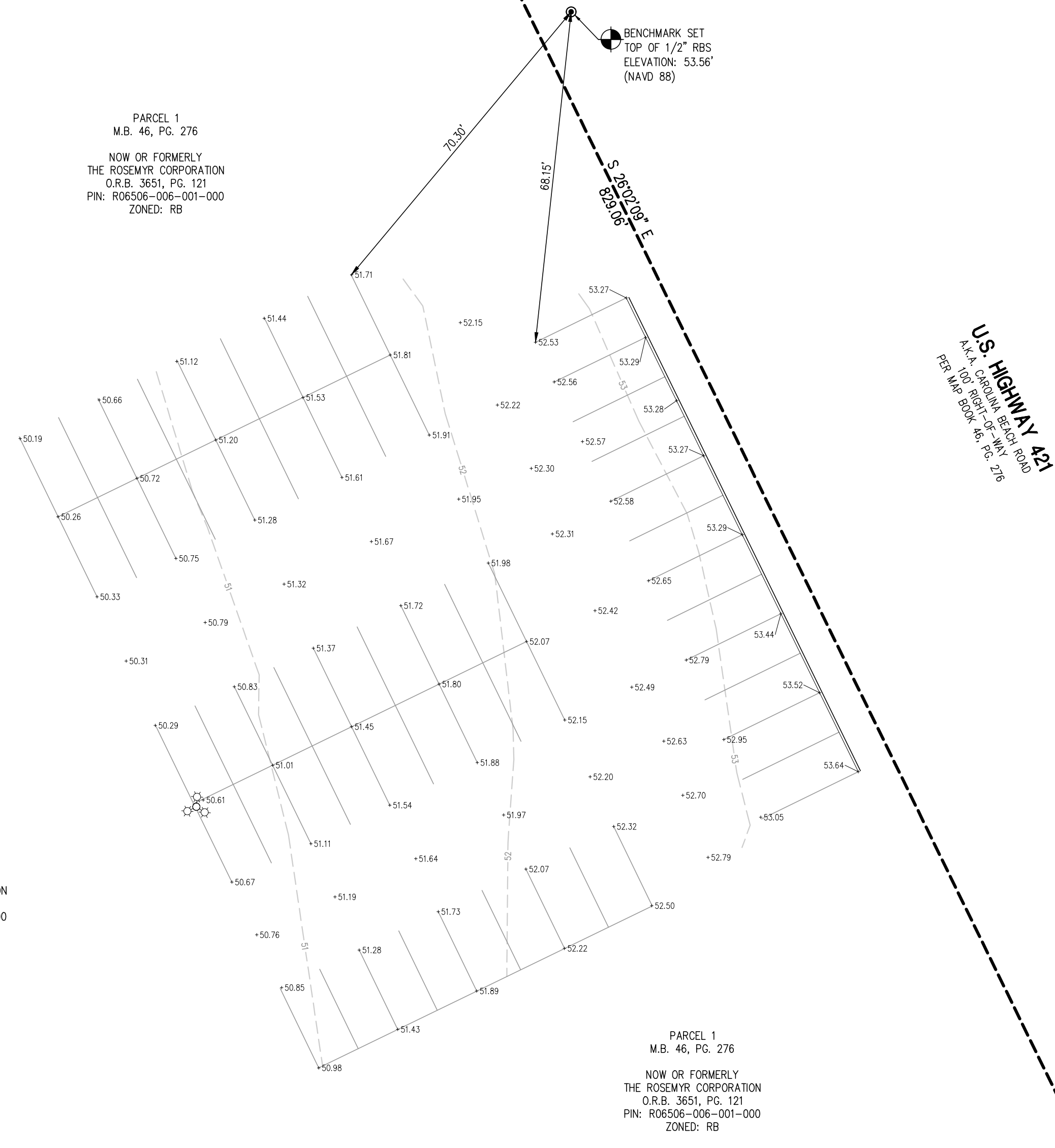
DETAILS

C12.03

**LEGEND**

- EXISTING BUILDING
- LAND LOT LINE (LLL)
- PROPERTY LINE
- UTILITY POLE (UP), OVERHEAD LINES & GUY
- TREE LINE
- SANITARY SEWER MANHOLE (SSMH)
- FIBER OPTIC CABLE
- SANITARY CLEAN-OUT (SCO)
- SANITARY SEWER STUB OUT
- TELEPHONE MANHOLE/PEDESTAL
- STORM DRAIN PIPE WITH HEADWALL
- DOUBLE-WING CATCH BASIN
- SINGLE-WING CATCH BASIN
- JUNCTION BOX (JB)
- DROP OR CURB INLET (DI OR CI)
- FENCE
- DRAINAGE DITCH OR SWALE
- EXISTING 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING GRADE SPOT ELEVATION
- DIRECTION OF SURFACE FLOW
- RECORDED DATA
- PARKING SPACE COUNT
- LIGHT POLE (LP)
- ELECTRICAL TRANSFORMER BOX
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- WATER STUB OUT
- WATER METER
- GAS METER
- ELECTRIC METER
- WELL
- MONITORING WELL
- POST INDICATOR VALVE
- MAILBOX
- STREET SIGN
- ELECTRICAL STUB OUT
- UNKNOWN UTILITY STUB OUT
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL BOX
- FIRE DEPT. CONNECTION
- FIBER OPTIC BOX
- BACKFLOW PREVENTER
- IRRIGATION CONTROL VALVE
- DRAINAGE MANHOLE
- RIGHT-OF-WAY
- REBAR PIN FOUND
- OPEN TOP PIPE FOUND
- CRIMP TOP PIPE FOUND
- CONCRETE MONUMENT FOUND
- BRASS DISK FOUND
- AXLE FOUND
- REBAR PIN SET
- CORRUGATED METAL PIPE
- REINFORCED CONC. PIPE
- HDPPE
- DIP
- PVC

(N 47°13'27"E)



**GENERAL NOTES**

1. SURVEY PROCEDURES: THIS SURVEY IS BASED ON MEASUREMENTS OBTAINED USING AN INSTRUMENT CAPABLE OF READING ANGULAR MEASUREMENTS DIRECTLY TO A MINIMUM OF 5 SECONDS OF ARC AND LINEAR DIMENSIONS DIRECTLY TO 0.01 FEET.
  2. TITLE TO THE SURVEYED PROPERTY IS CURRENTLY VESTED IN THE ROSEMYR CORPORATION, A NORTH CAROLINA CORPORATION, BY VIRTUE OF A GENERAL WARRANTY DEED RECORDED IN D.B. 3651, PG. 121, HANOVER COUNTY, NORTH CAROLINA RECORDS.
  3. I HAVE EXAMINED FEMA FLOOD INSURANCE RATE MAP NO. 3720312600J DATED APRIL 3, 2006 AND HAVE DETERMINED BASED SOLELY BY GRAPHICALLY SCALING THE LOCATION ON THE MAP THAT THIS PROPERTY IS SHOWN NOT TO BE LOCATED WITHIN THE LIMITS OF A DESIGNATED FLOOD HAZARD AREA.
  4. THE BASIS OF BEARINGS USED FOR THIS SURVEY IS FROM THE PLAT ENTITLED "MAP OF RECOMBINATION FOR BERMUDA COMPANY AND THE ROSEMYR CORPORATION" BY ROBERT H. GOSLEE & ASSOCIATES, P.A., DATED AUGUST 6, 2004 AND RECORDED IN MAP BOOK 46, PG. 276, HANOVER COUNTY, NORTH CAROLINA RECORDS. ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON NOS MONUMENT "MCDONALDS" (PID: EA3092), ELEVATION OF MONUMENT: 43.3' (NAVD88).
  5. THE SURVEYED PROPERTY IS ZONED RB (REGIONAL BUSINESS DISTRICT) ACCORDING TO THE CITY OF WILMINGTON, NORTH CAROLINA PLANNING & ZONING DEPARTMENT AND IS SUBJECT TO THE REQUIREMENTS AND RESTRICTIONS OF THIS ZONING CLASSIFICATION. THE SETBACK REQUIREMENTS FOR THIS ZONING CLASSIFICATION ARE:
 

FRONT	25 FT.
MAJOR SIDE	25 FT.
MINOR SIDE	0 FT.
REAR	25 FT.
MAXIMUM BUILDING HEIGHT	35 FT.
MAXIMUM LOT COVERAGE	40%
  6. THE TAX PARCEL ID FOR THE SUBJECT PROPERTY IS R06506-006-001-000.
  7. UTILITY INFORMATION SHOWN ON THIS SURVEY IS BASED ON ABOVE GROUND EVIDENCE OBSERVED AT THE TIME OF FIELD SURVEY. NO CERTIFICATION, GUARANTEE, OR WARRANTY OF ANY KIND IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION CONCERNING UTILITIES SHOWN OR NOT SHOWN ON THIS SURVEY.
  8. THE CONTOURS SHOWN ON THIS SURVEY ARE AT 1.0 FOOT INTERVALS.
  9. AREA COMPUTED BY COORDINATES.
  10. THAT THIS SURVEY IS OF AN EXISTING PROPERTY AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.
  11. ALL DISTANCES SHOWN ON THIS SURVEY ARE GROUND DISTANCES.
- I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN M.B. 46, PG. 276 AND D.B. 3651, PG. 121 NEW HANOVER COUNTY, NORTH CAROLINA RECORDS) THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DASHED LINES AND ARE DRAWN FROM INFORMATION IN OTHER REFERENCE SOURCES, THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:62,838; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600)
- AND I CERTIFY FURTHER THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL (2 SIGMA) TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THE VERTICAL ACCURACY MEETS AND EXCEEDS THE VERTICAL ACCURACY REQUIREMENTS OF THE NATIONAL MAP ACCURACY STANDARDS AND THAT THE ORIGINAL DATA WAS OBTAINED ON APRIL 04, 2018; THAT THE SURVEY WAS COMPLETED ON MAY 2, 2018; THAT CONTOURS SHOWN AS BROKEN LINES MAY NOT MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON NC GRID NAD 83 AND ALL ELEVATIONS ARE BASED ON NAVD 88.
- THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2018

SIGNED: \_\_\_\_\_  
RODNEY E. ABNEY, JR.  
NORTH CAROLINA REG. NO. L-4510

Bechtler Greenfield Surveying, LLC  
1430 West Peachtree St. NW, Suite 225  
Atlanta, Georgia 30309  
Phone: (770) 422-8181  
Fax: (770) 422-8181  
Email: info@gsurveying.com

DRAWING SCALE:	1" = 20' ± 1/8"	
RELEASE DATE:	05-03-18	
FIELDWORK BY:	RWS	
DRAWN BY:	PCG	
CHECKED BY:	REVISIONS	
NO.	DATE	DESCRIPTION
1		
2		
3		
4		

**2638 CAROLINA BEACH ROAD  
WILMINGTON, NC 284152**

NEW HANOVER COUNTY - NORTH CAROLINA

TOPOGRAPHIC SURVEY FOR

**INFINITY ENGINEERING GROUP**

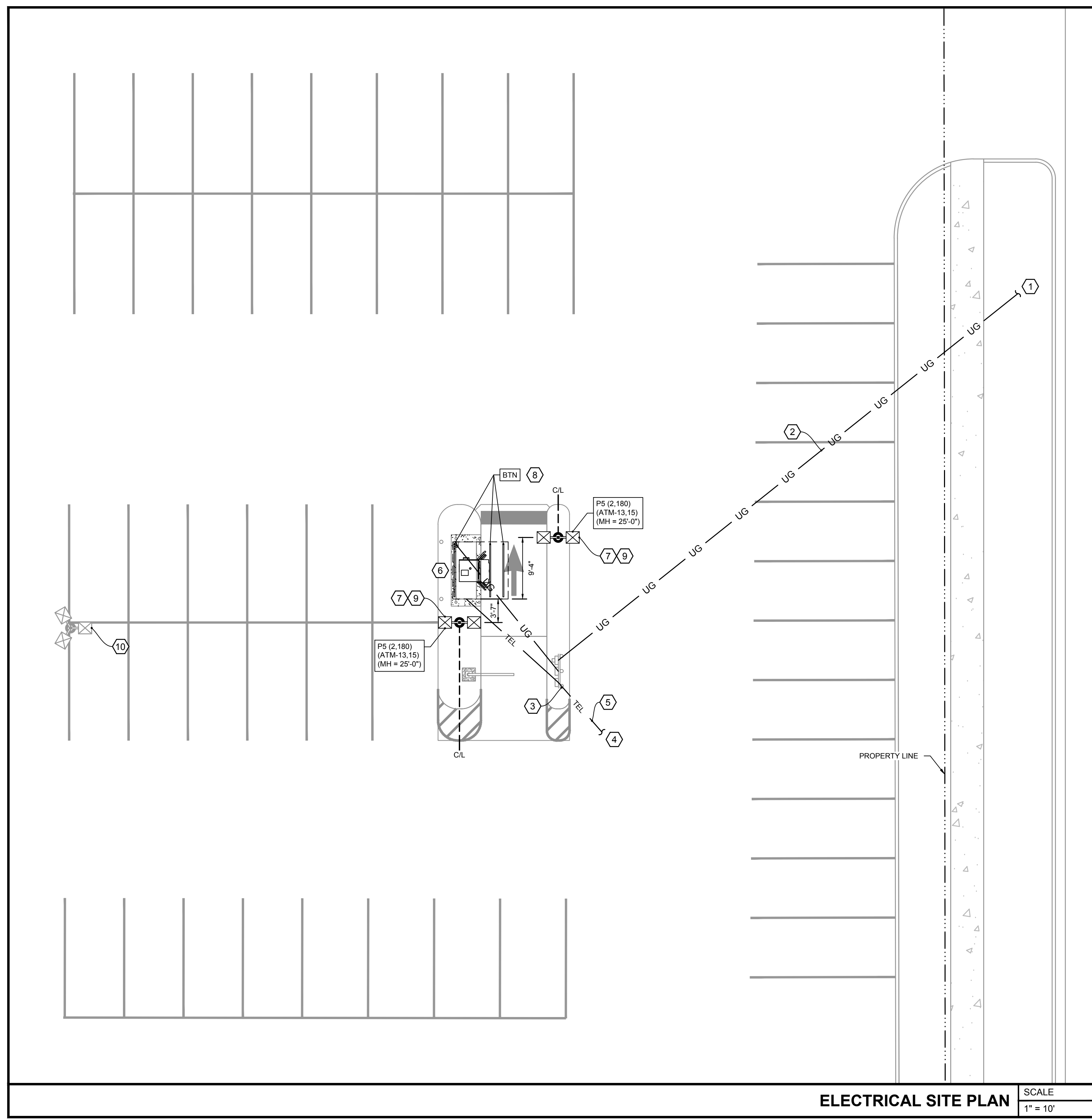
PROJECT NO.  
**18-130-0-0**

DRAWING FILE:  
18-130-0 SURVEY.DWG

SHEET NO.  
**S-1**

1 OF 1



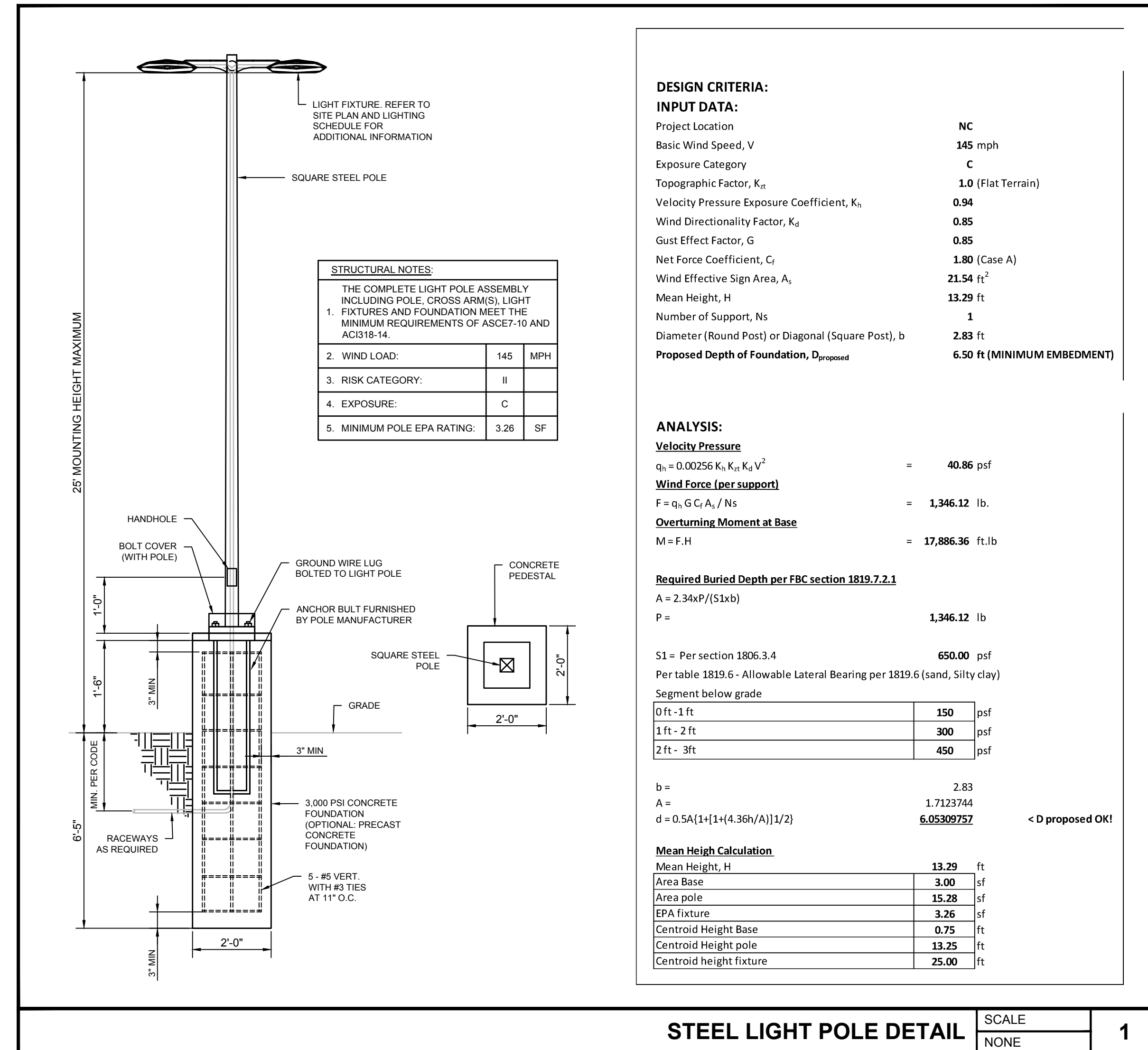


**ELECTRICAL SITE PLAN** SCALE 1" = 10'

- KEYED NOTES:**
- ① ELECTRIC UTILITY XFMR (POLE-MOUNTED - UG): EXISTING POLE-MOUNTED TRANSFORMER. COORDINATE WITH POWER CO. FOR SPECIFIC REQUIREMENTS, SCOPE OF SUPPLY, AND FINAL CONNECTIONS.
  - ② SERVICE LATERAL (UG): COORDINATE WITH GENERAL CONTRACTOR FOR ROUTING CONDUIT TO SERVICE EQUIPMENT ON FREE-STANDING SERVICE RACK. REFER TO ELECTRICAL RISER DIAGRAM FOR ADDITIONAL INFORMATION.
  - ③ FREE-STANDING SERVICE RACK: PROVIDE AN EQUIPMENT RACK FOR MOUNTING ELECTRIC UTILITY METER, MAIN DISCONNECT, AND TELCO D-MARC CABINET. REFER TO RISER DIAGRAM FOR EQUIPMENT RATINGS AND INTERCONNECTIONS. REFER TO SERVICE RACK DETAIL FOR CONSTRUCTION REQUIREMENTS.
  - ④ TELCO SERVICE POINT: COORDINATE WITH TELCO PROVIDER FOR SERVICE REQUIREMENTS, EXACT ROUTING, AND LOCATION OF SERVICE POINT.
  - ⑤ TELCO SERVICE CONDUITS: PROVIDE (2) 2" CONDUITS W/ MULE TAPE FROM TELCO SERVICE POINT AT RIGHT OF WAY TO D-MARC ON FREE-STANDING SERVICE RACK. STUB-UP 6" AT SERVICE POINT AND PROVIDE TEMPORARY CAP.
  - ⑥ REMOTE ATM KIOSK: KIOSK BUILDING FACTORY WIRED WITH "ATM" PANEL AND INTERNAL BRANCH CIRCUITS AND FIELD INSTALLED ATM. ROUTE POWER, DATA, AND SECURITY CONDUITS TO KIOSK BUILDING.
  - ⑦ SITE POLE LIGHT: REFER TO EXTERIOR LIGHTING SCHEDULE AND LIGHT POLE DETAIL ON THIS SHEET FOR ADDITIONAL REQUIREMENTS.
  - ⑧ KIOSK CANOPY LIGHT: FACTORY INSTALLED AND WIRED KIOSK CANOPY LIGHT PROVIDED BY KIOSK MANUFACTURER.
  - ⑨ LIGHTING CONTROLS: EXTEND BRANCH CIRCUIT VIA EXTERIOR LIGHTING CONTRACTOR IN REMOTE ATM KIOSK FOR DUSK-TO-DAWN OPERATION. REFER TO EXTERIOR LIGHTING WIRING DIAGRAM.
  - ⑩ EXISTING PLAZA LIGHT POLE: EXISTING PLAZA LIGHT POLE TO REMAIN.

**SHEET NOTES:**

- UTILITY LOCATE: FIELD VERIFY ALL UNDERGROUND UTILITIES PRIOR TO TRENCHING. ALL PROPOSED EXCAVATION IN THE VICINITY OF EXISTING UTILITIES SHALL BE HAND EXCAVATED.
- RACEWAY: NO UNDERGROUND CONDUITS SHALL BE SMALLER THAN 3/4", UNLESS NOTED OTHERWISE.
- COORDINATION: COORDINATE ALL SITE CONDUIT ROUTINGS WITH GENERAL CONTRACTOR. REFER TO CIVIL PLANS FOR FINAL LOCATION OF ALL SITE LIGHTING, SIGNAGE, SITE EQUIPMENT, AND UTILITY CONNECTION POINTS.
- UTILITY SERVICE: SET-UP AND COORDINATE TEMPORARY AND PERMANENT ELECTRICAL AND TELECOM SERVICES WITH LOCAL PROVIDERS. PROVIDE ALL EQUIPMENT, MATERIAL, AND LABOR TO MEET UTILITY REQUIREMENTS. INCLUDE ALL ASSOCIATED COSTS IN BASE BID.
- SITE UTILITIES: COORDINATE WITH CIVIL PLANS FOR LOCATIONS AND POWER REQUIREMENTS OF ALL SITE UTILITIES SUCH AS LIFT STATIONS, IRRIGATION PUMPS, ETC.
- FAULT CURRENT: COORDINATE EQUIPMENT SHORT CIRCUIT CURRENT RATINGS (SCCR) WITH POWER COMPANY. PROVIDE POWER COMPANY AVAILABLE FAULT CURRENT (AFC) AT TRANSFORMER SECONDARY AND PROPOSED EQUIPMENT SCCR FOR ENGINEER APPROVAL.
- VOLTAGE DROP: INCREASE FEEDER AND SERVICE ENTRANCE CONDUCTOR SIZE BASED ON ACTUAL TRANSFORMER LOCATION TO MEET VOLTAGE DROP LIMITATIONS OF 2% CUMULATIVE FOR FEEDERS AND 3% BRANCH CIRCUITS.
- LIGHTING: REFER TO LIGHTING FIXTURE SCHEDULE FOR FIXTURE CATALOG NUMBERS AND ADDITIONAL REQUIREMENTS.
- ATM LIGHTING: SITE LIGHTING SHALL MEET ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS WITH RESPECT TO MINIMUM ILLUMINATION LEVELS IN THE VICINITY OF AN ATM.
- SITE TRENCHING/DIRECTIONAL BORING: COORDINATE WITH GENERAL CONTRACTOR AND PROPERTY OWNER FOR ALL SITE TRENCHING AND DIRECTIONAL BORING NEEDS. ALL EXISTING LANDSCAPING AND PAVEMENT DISTURBED AS A RESULT OF TRENCHING AND/OR DIRECTIONAL BORING SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION THAN EXISTING.



**STEEL LIGHT POLE DETAIL** SCALE NONE 1

**EXTERIOR LIGHTING FIXTURE SCHEDULE**

LABEL	DESCRIPTION	LIGHT FIXTURE		MOUNTING	VOLTS	WATTS
		MFG.	MODEL #			
P5 (2,180)	NEW TWO-HEAD POLE WITH HEADS SEPARATED BY 180 DEGREES.	CREE	ARE-EDG-5M-DA-14-E-UL--525-40K	POLE	UNV.	464

\* COORDINATE SELECTION OF LIGHT FIXTURE COLOR WITH OWNER / ARCHITECT PRIOR TO START OF WORK.

**Bank of America**

**Shipyards Plaza ATM- UB**

2632-2642 Carolina Beach Rd., Wilmington, NC 28401

M. Arthur Gensler Jr. & Associates Inc.

**Gensler**

LIC. NO. AA0002837

Main Office  
 2 Harrison Street Suite 400  
 San Francisco CA 94105  
 Tel 415.433.3700 Fax 415.836.4599

Satellite Office  
 100 North Tampa Street Suite 2300  
 Tampa FL 33602  
 Tel 813.204.9000

**INFINITY**

INFINITY ENGINEERING GROUP, PLLC  
 1336 Harding Place  
 Charlotte, NC 28204  
 [p]: 813.434.4770  
 [f]: 813.445.4211  
 www.igroup.net  
 NC Firm Certificate No. P-1836

Date	Description
05.17.18	ISSUE FOR REVIEW
05.29.18	ISSUE FOR PERMIT

Seal / Signature

ANDREW MOHR, P.E.  
 NC REG. NO. 43030

DATE

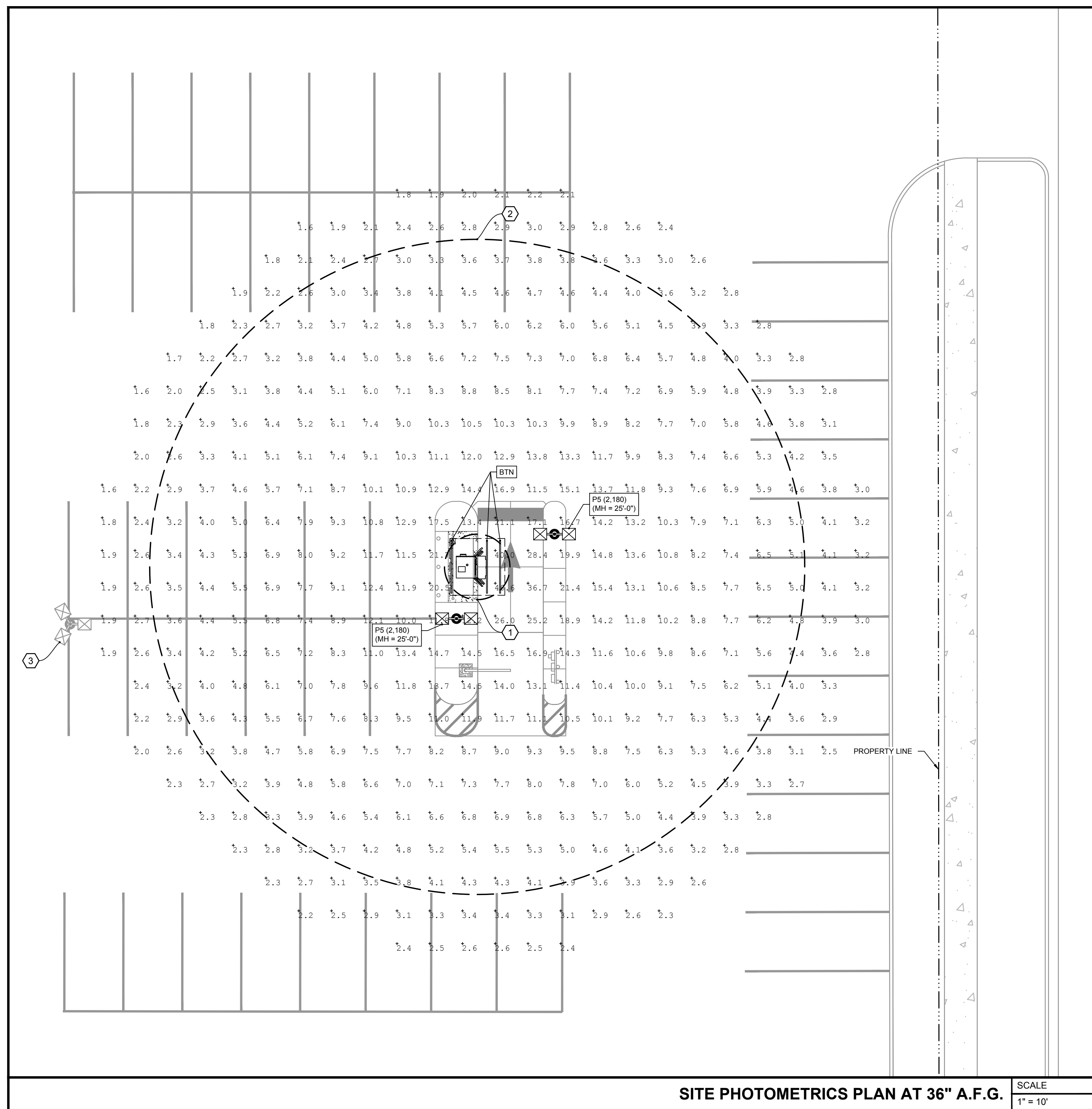
Project Name  
 Shipyards Plaza ATM- UB

Project Number  
 69.6191.980 / 10-629.00

Scale

Description  
 ELECTRICAL SITE PLAN

**E01.01**



**SITE PHOTOMETRICS PLAN AT 36" A.F.G.**

SCALE  
1" = 10'

**KEYED NOTES:**

- ① DRIVE-UP ATM - 5FT COMPLIANCE: A MINIMUM OF TEN (10) FOOT CANDLE POWER AT 3 FT ABOVE FINISHED GRADE AT THE FACE OF THE ATM EXTENDING OUTWARD FIVE (5) FEET IN ALL UNOBSTRUCTED DIRECTIONS.
- ② DRIVE-UP ATM - 50FT COMPLIANCE: A MINIMUM OF TWO (2) FOOT CANDLE POWER AT 3 FT ABOVE FINISHED GRADE AT THE FACE OF THE ATM EXTENDING OUTWARD FIFTY (50) FEET IN ALL UNOBSTRUCTED DIRECTIONS.
- ③ EXISTING PLAZA LIGHT POLE: EXISTING PLAZA LIGHT POLE SHALL NOT BE CONSIDERED IN THIS PHOTOMETRIC STUDY.

**SHEET NOTES:**

1. **REGULATED STATES:** THE FOLLOWING STATES REGULATE THE MINIMUM LIGHT LEVELS IN THE VICINITY OF AN ATM, AFTER HOUR DEPOSITORY, AND 24-HOUR VESTIBULE: ALABAMA, CALIFORNIA, CONNECTICUT, DISTRICT OF COLUMBIA, FLORIDA, GEORGIA, ILLINOIS, KANSAS, KENTUCKY, LOUISIANA, MARYLAND, MASSACHUSETTS, MISSOURI, MONTANA, NEVADA, NEW HAMPSHIRE, NEW JERSEY, NEW YORK, OREGON, RHODE ISLAND, TEXAS, VIRGINIA, WASHINGTON.
2. **LIGHTING CONTROLS:** ALL NEW LIGHT FIXTURES SHALL BE INTEGRATED INTO EXISTING LIGHTING CONTROL SYSTEM FOR SIMULTANEOUS OPERATION. EXTERIOR LIGHTING SHALL BE IN SERVICE FROM DUSK-TO-DAWN. RECONFIGURE EXISTING LIGHTING CONTROLS AS REQUIRED.
3. **ILLUMINATION REQUIREMENTS:** ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING AND PROPOSED LIGHTING IN THE VICINITY OF AUTOMATIC TELLER MACHINES, AFTER-HOUR DEPOSITORIES AND 24-HOUR VESTIBULES COMPLY WITH BANK STANDARDS AND APPLICABLE FEDERAL, STATE, AND LOCAL CODES, RULES & REGULATIONS, ORDINANCES, AND STATUTES RELATED TO MINIMUM LIGHTING LEVELS FOR SAFETY. NOTIFY ENGINEER OF ANY DEFICIENCIES FOR CORRECTIVE ACTIONS. FOR UNREGULATED STATES, MINIMUM LIGHTING LEVELS SHALL MEET THE CRITERIA LISTED HEREIN:
  - A. **DRIVE-UP ATM OR NIGHT DEPOSITORY:** A MINIMUM OF TEN (10) FOOT-CANDLE POWER AT THE FACE OF THE ATM OR AFTER-HOUR DEPOSITORY EXTENDING OUTWARD FIVE (5) FEET IN ALL UNOBSTRUCTED DIRECTIONS. A MINIMUM OF ONE (1) FOOT-CANDLE POWER EXTENDING OUTWARDS IN ALL UNOBSTRUCTED DIRECTIONS FIFTY (50) FEET FROM THE FACE OF THE ATM AND AFTER-HOUR DEPOSITORY.
  - B. **WALK-UP ATM OR NIGHT DEPOSITORY:** A MINIMUM OF TEN (10) FOOT-CANDLE POWER AT THE FACE OF THE ATM OR AFTER-HOUR DEPOSITORY EXTENDING OUTWARD FIVE (5) FEET IN ALL UNOBSTRUCTED DIRECTIONS. A MINIMUM OF ONE (1) FOOT-CANDLE POWER WITHIN SIXTY (60) FEET OF THE ATM AND AFTER-HOUR DEPOSITORY. IN THE EVENT THE ATM OR AFTER-HOUR DEPOSITORY IS LOCATED WITHIN TEN (10) FEET OF THE CORNER OF THE BUILDING AND IS GENERALLY ACCESSIBLE FROM THE ADJACENT SIDE, THERE SHALL BE A MINIMUM OF ONE (1) FOOT-CANDLE POWER ALONG THE FIRST FORTY (40) UNOBSTRUCTED FEET OF THE ADJACENT SIDE OF THE BUILDING.
  - C. **24-HR VESTIBULE:** IF THE ATM OR AFTER-HOUR DEPOSITORY IS LOCATED INSIDE AN ACCESSIBLE VESTIBULE DURING ANY HOURS OF DARKNESS, A MINIMUM OF TEN (10) FOOT-CANDLE POWER AT THE FACE OF THE ATM OR AFTER-HOUR DEPOSITORY EXTENDING OUTWARD FIVE (5) FEET IN ALL UNOBSTRUCTED DIRECTIONS. THERE WILL BE A MINIMUM OF TWO (2) FOOT-CANDLE POWER AT THE INSIDE OF THE VESTIBULE ENTRY/EXIT DOOR(S). A MINIMUM OF ONE (1) FOOT-CANDLE POWER WITHIN SIXTY (60) FEET OF THE VESTIBULE ENTRY/EXIT DOOR. IN THE EVENT THE VESTIBULE ENTRY/EXIT DOOR IS LOCATED WITHIN TEN (10) FEET OF THE CORNER OF THE BUILDING AND IS GENERALLY ACCESSIBLE FROM THE ADJACENT SIDE, THERE SHALL BE A MINIMUM OF ONE (1) FOOT-CANDLE POWER ALONG THE FIRST FORTY (40) UNOBSTRUCTED FEET OF THE ADJACENT SIDE OF THE BUILDING. IN URBAN SETTINGS FOR WHICH THERE IS NO DEFINED BANK PARKING AND THE ONLY ACCESS AREA IS A PUBLIC SIDEWALK, A MINIMUM ONE (1) FOOT-CANDLE POWER SHALL BE FOR THE FIRST FIVE (5) UNOBSTRUCTED FEET FROM THE DOOR. THE MINIMUM FOOT-CANDLE READING WILL ALSO BE LIMITED TO BANK CONTROLLED PROPERTY LINES.
  - D. **ASSOCIATE ENTRANCE/EXIT:** A MINIMUM OF TWO (2) FOOT-CANDLE POWER IN THE IMMEDIATE AREA OF THE DESIGNATED ASSOCIATE ENTRANCE/EXIT TO THE FACILITY.
  - E. **MEASURING PLANE:** ALL LIGHTING MEASUREMENTS ARE TO BE TAKEN AT 36 INCHES ABOVE THE GROUND ON A HORIZONTAL PLANE, UNLESS OTHERWISE SPECIFIED BY STATE LAW OR REGULATION.
  - F. **OTHER STANDARDS:** THE MINIMUM STANDARD SHALL APPLY UNLESS: (I) A GREATER STANDARD IS REQUIRED BY AN APPLICABLE LAW FOR A PARTICULAR FACILITY LOCATION; OR (II) UNLESS THE MINIMUM STANDARD WOULD VIOLATE LIGHTING RESTRICTIONS IN AN APPLICABLE LAW FOR A PARTICULAR FACILITY LOCATION. IN EITHER INSTANCE, THE MINIMUM STANDARD WOULD YIELD TO SUCH APPLICABLE LAW.

**PHOTOMETRIC DESIGN NOTES:**

1. PHOTOMETRIC PLAN IS PREPARED BASED ON ESTIMATED EXISTING FIXTURE TYPES AND POLE HEIGHTS. FIELD VERIFY EXISTING FIXTURE LAMP TYPES AND MOUNTING HEIGHTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF DISCREPANCIES ARE FOUND.
2. PHOTOMETRIC VALUES SHOWN HEREIN ARE INTENDED FOR DESIGN AND EVALUATION PURPOSES ONLY. THE CALCULATED POINT-BY-POINT VALUES SHOWN ON THIS SHEET ARE BASED ON A COMPUTER LIGHTING PROGRAM WITH APPROXIMATED PARAMETERS. AS A RESULT, PHOTOMETRIC VALUES MAY VARY FROM ACTUAL FIELD MEASUREMENTS.
3. SITE LIGHTING HAS BEEN DESIGNED IN ACCORDANCE WITH BANK CRITERIA.

**CALCULATION SUMMARY AT 36" AFG**

LABEL	CALCTYPE	UNIT	AVG	MAX	MIN	AVG/MIN	MAX/MIN
DRIVE-UP ATM - 5FT COMPLIANCE	ILLUMINANCE	FC	35.14	45.3	17.9	1.96	2.53
DRIVE-UP ATM - 50FT COMPLIANCE	ILLUMINANCE	FC	8.32	45.3	2.6	3.20	17.42



Date	Description
------	-------------

05.17.18 ISSUE FOR REVIEW  
05.29.18 ISSUE FOR PERMIT

Seal / Signature

ANDREW MOHR, P.E.  
NC REG. NO. 43030

DATE

Project Name

Shipyards Plaza ATM- UB

Project Number

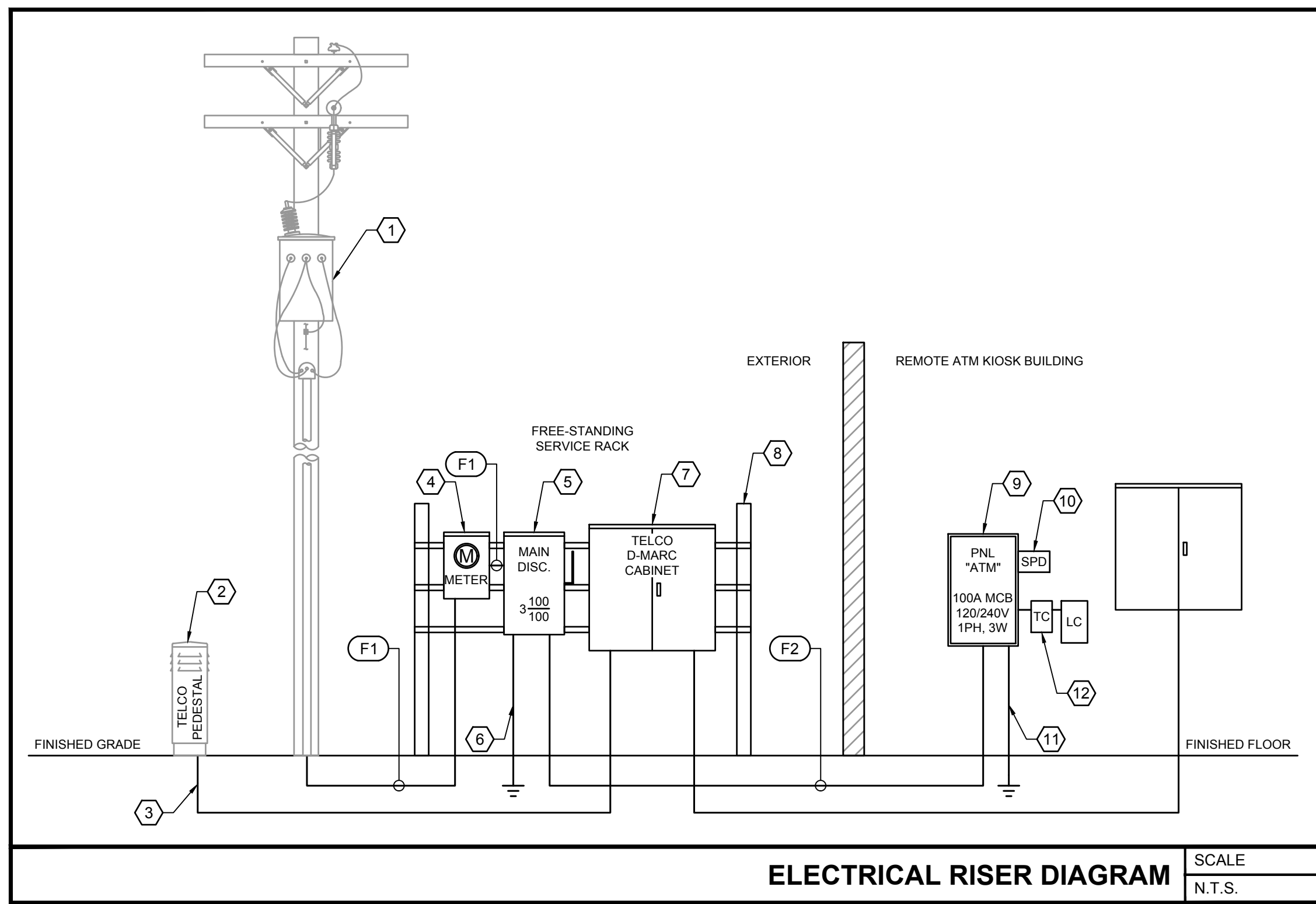
69.6191.980 / 10-629.00

Scale

Description

SITE PHOTOMETRICS PLAN AT 36" A.F.G.

**E01.02**

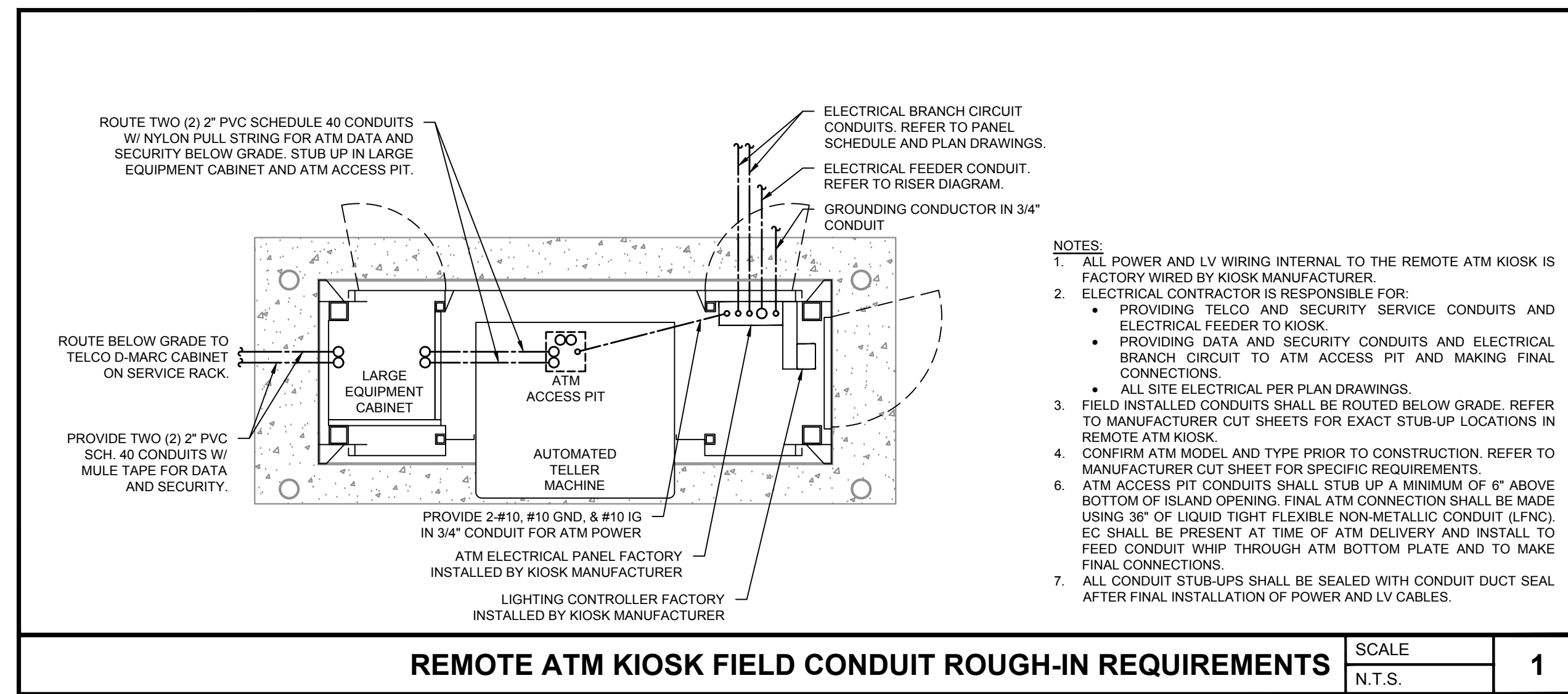


**ELECTRICAL RISER DIAGRAM** SCALE N.T.S.

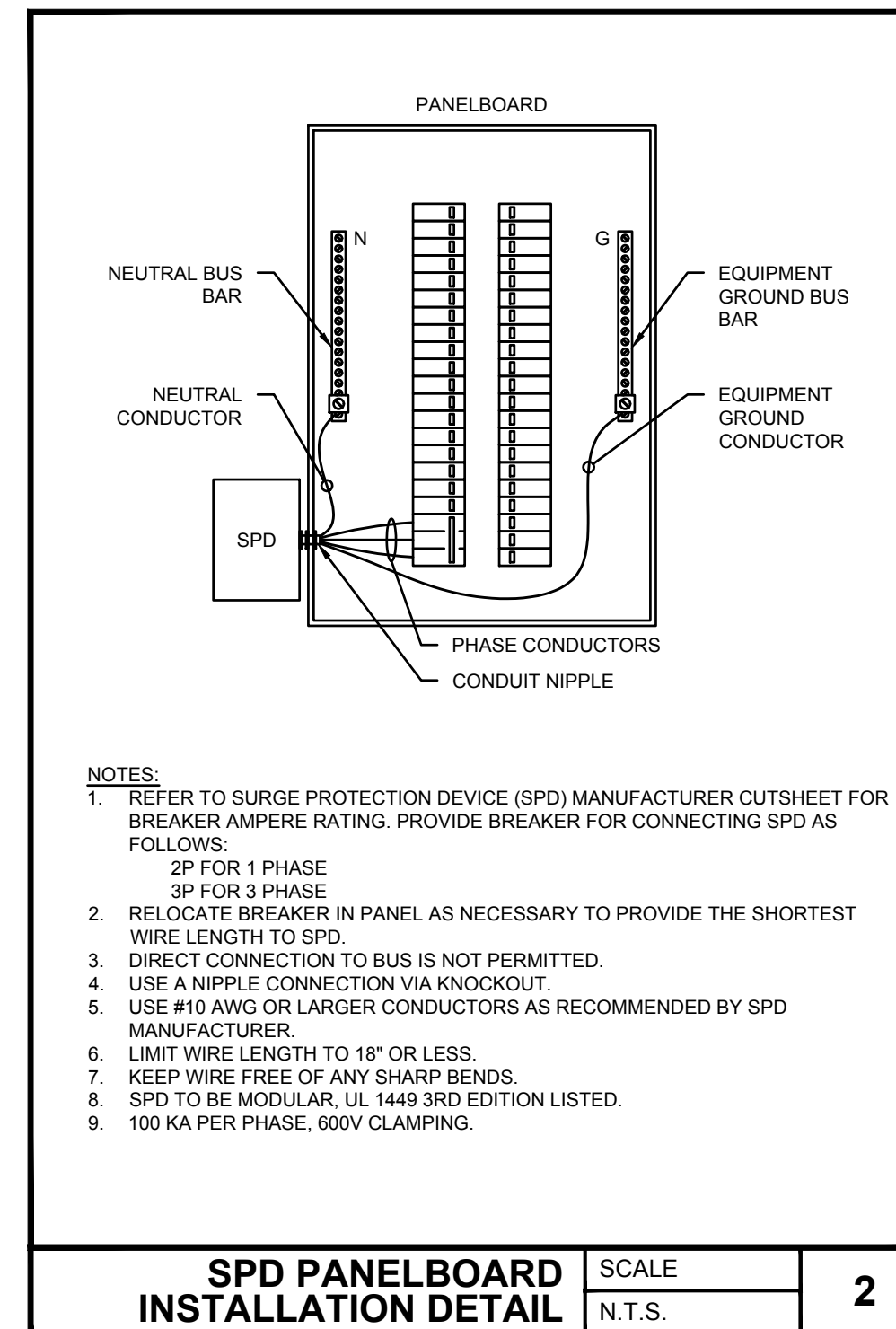
**KEYED NOTES:**

- F1 100A SERVICE: (3) #1 SERVICE ENTRANCE CONDUCTORS IN A 2" C.
- F2 100 FEEDER: (3) #1, #8 GND, & #8 IG IN A 2" C.
- 1 ELECTRIC UTILITY XFMR: EXISTING POLE MOUNTED UTILITY TRANSFORMER. COORDINATE WITH POWER CO. FOR SPECIFIC REQUIREMENTS, SCOPE OF SUPPLY, AND FINAL CONNECTIONS.
- 2 TELCO SERVICE POINT: COORDINATE WITH TELCO PROVIDER FOR SERVICE REQUIREMENTS, EXACT ROUTING, AND LOCATION OF SERVICE POINT.
- 3 TELCO SERVICE CONDUITS: ROUTE CONDUIT(S) FROM TELCO SERVICE POINT TO D-MARC CABINET ON FREE-STANDING SERVICE RACK. REFER TO ELECTRICAL SITE PLAN ON SHEET E01.01 FOR ROUTING AND CONDUIT REQUIREMENTS.
- 4 ELECTRIC UTILITY METER: PROVIDE 600V, 125A, 1PH, 3W SELF-CONTAINED METER CAN AND SOCKET. COORDINATE WITH POWER COMPANY FOR APPROVED MODELS.
- 5 SERVICE DISCONNECT: PROVIDE 240V, 100A, 2-POLE SERVICE ENTRANCE RATED GENERAL DUTY FUSIBLE DISCONNECT WITH (2) 100A FUSES AND (2) SPARE 100A FUSES. FUSES SHALL BE SELECTED TO PROVIDE 100A SERIES RATING FOR PANEL "ATM" IN KIOSK. DISCONNECT SHALL HAVE PROVISIONS FOR LOCKING IN THE "ON" POSITION.
- 6 GROUNDING SYSTEM: INSTALL MAIN BONDING JUMPER TO ESTABLISH NEUTRAL-GROUND BOND AND DERIVE ISOLATED GROUND. PROVIDE (1) #6 CU INSULATED GROUNDING ELECTRODE CONDUCTOR (GEC) ROUTED IN 3/4" PVC CONDUIT TO GROUNDING ELECTRODE SYSTEM. GROUNDING ELECTRODE SYSTEM CONSISTING OF (2) 3/4"x10' CU CLAD GND RODS, CONCRETE ENCASED ELECTRODE, BUILDING STEEL, METAL COLD WATER PIPE (IF AVAILABLE), AND INTERSYSTEM BONDING JUMPER AT TELCO D-MARC.
- 7 TELCO D-MARC CABINET: NEMA-3R TELEPHONE CABINET WITH PAD-LOCKABLE REMOVABLE HINGED DOOR(S), DOOR STOP KIT, PRINT POCKET, INTERSYSTEM GROUND BAR, AND 3/4" FIRE-RATED PLYWOOD BACKBOARD; HOFFMAN ATC SERIES OR EQUAL. COORDINATE SELECTION WITH OWNER AND TELCO PROVIDER.
- 8 FREE-STANDING OUTDOOR ELECTRICAL SERVICE RACK: PROVIDE CONCRETE POSTS, UNISTRUT, AND ALL NECESSARY HARDWARE, SUPPORTS, AND FASTENING MATERIAL FOR MOUNTING ELECTRICAL/TELCO EQUIPMENT ON RACK.
- 9 KIOSK ELECTRICAL PANEL: 100A, 120/240V, 1PH, 3W, 16CKT LOADCENTER W/ 2P/100A MAIN CIRCUIT BREAKER; EATON TYPE BR 10kAIC. LOADCENTER IS PROVIDED AND FACTORY INSTALLED BY KIOSK MANUFACTURER. PROVIDE ADDITIONAL BRANCH CIRCUIT BREAKERS FOR SITE LIGHTING. REFER TO PANEL SCHEDULE FOR ADDITIONAL INFORMATION. SERIES RATE WITH UPSTREAM FUSIBLE DISCONNECT.
- 10 SURGE PROTECTION: PROVIDE SURGE PROTECTION DEVICE. REFER TO SPD PANELBOARD SCHEMATIC FOR ADDITIONAL INFORMATION.
- 11 SEPARATE STRUCTURE GROUNDING: PROVIDE (1) #6 CU INSULATED GROUNDING CONDUCTOR ROUTED IN 3/4" PVC CONDUIT FOR CONNECTING EQUIPMENT GROUND BUS IN PANEL TO GROUNDING ELECTRODE SYSTEM. GROUNDING ELECTRODE SYSTEM CONSISTING OF (2) 3/4"x10' CU CLAD GND RODS, CONCRETE ENCASED ELECTRODE, BUILDING STEEL, AND METAL COLD WATER PIPE (IF AVAILABLE). THE NEUTRAL CONDUCTOR SHALL NOT BE CONNECTED TO THE EQUIPMENT GROUND BUS OR GROUNDING ELECTRODE CONDUCTOR PER NEC 250.32B1.
- 12 LIGHTING CONTROLS: TIME-CLOCK PROVIDED AND FACTORY INSTALLED BY KIOSK MANUFACTURER. PROGRAM TIME-CLOCK FOR DUSK-TO-DAWN OPERATION OF ALL SITE LIGHTING.

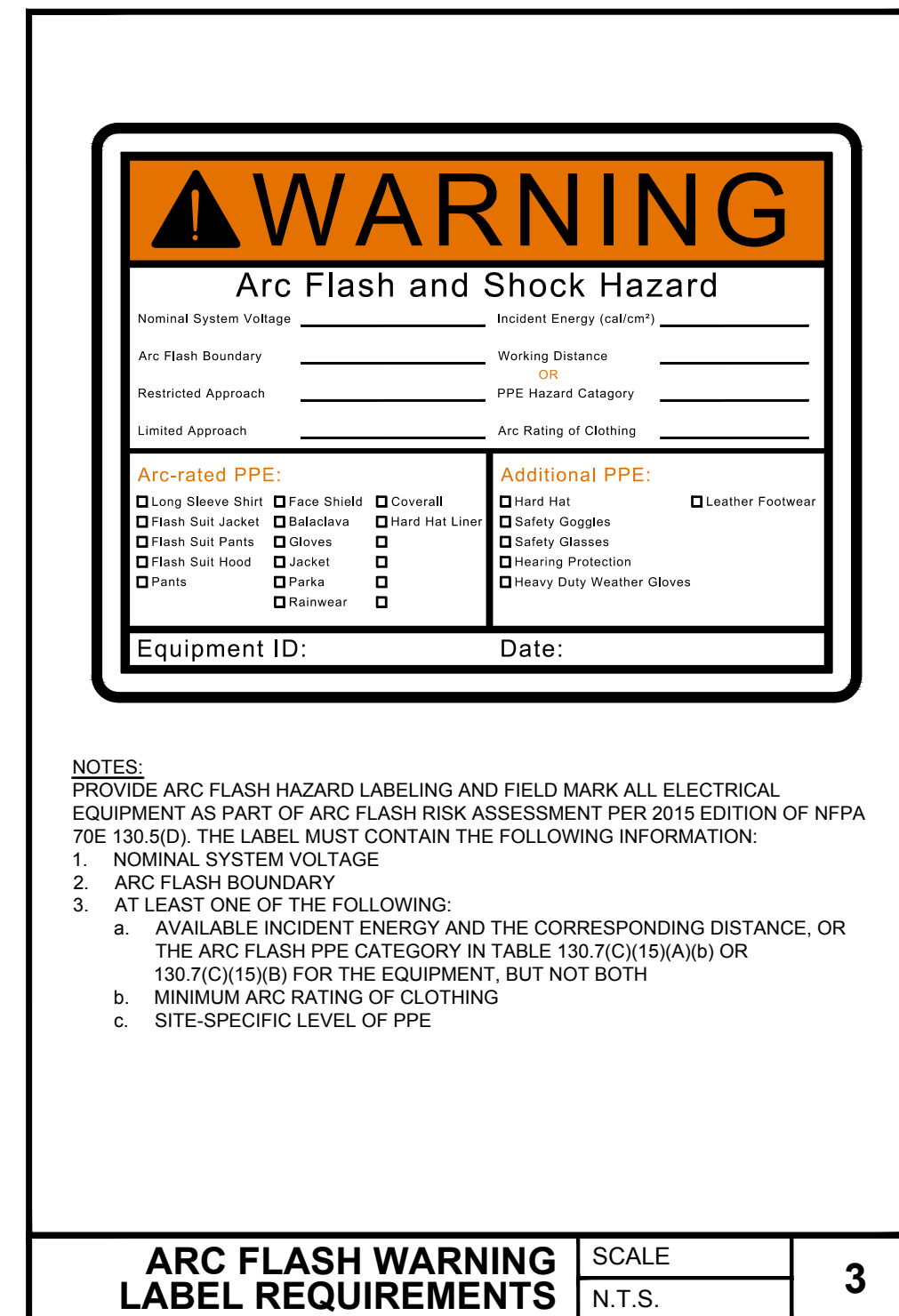
1-PHASE VOLTAGE DROP CALCULATION	
$VD_{LL} = 2 \times \frac{\Omega/L}{  sets} \times L \times A$	
240	$V_{LL}$ = System Voltage (line-to-line) (V)
1.8	$VD_{LL}$ = Voltage drop (line-to-line) (ΔV)
1	sets = Number of Parallel Sets
0.160	$\Omega/L$ = Effective Impedance (Ze) per unit of length (kft)
110	L = One way length of circuit (ft)
50	A = Load Current (A)
#1, CU	Conductor size (AWG or kcmil)
PVC	Conduit type
Notes: 1) Effective impedance based on values from NEC Ch. 9, Table 9.	
%VD = Percent voltage drop (%) <b>0.73%</b>	
Operating Voltage at the end of the cable run <b>238.24 V</b>	
<b>VOLTAGE DROP CALCULATION</b>	SCALE N.T.S. <b>4</b>



**REMOTE ATM KIOSK FIELD CONDUIT ROUGH-IN REQUIREMENTS** SCALE N.T.S. **1**



**SPD PANELBOARD INSTALLATION DETAIL** SCALE N.T.S. **2**



**ARC FLASH WARNING LABEL REQUIREMENTS** SCALE N.T.S. **3**

PANELBOARD: ATM (NEW)																					
BUS AMPS: 100A						FAULT CURRENT: 10000 FULLY RATED			PROVIDE EQUIPMENT GROUND BUS												
MAIN SIZE/TYP: 100A MCB						AC RATING: 10000 FULLY RATED			PROVIDE ISOLATED GROUND BUS												
VOLTS/PHASE: 240/120V, 1PH, 3W						SERVES: MOUNTING SURFACE ENCLASURE: NEMA 1			LOCATION: ENCLOSURE: NEMA 1												
SECTION: 1																					
CKT NO.	DESCRIPTION	CONDUCTOR & CONDUIT				BREAKER		V/PHASE		CONDUCTOR & CONDUIT		DESCRIPTION	CKT NO.								
		PH	NEUT	GND	IG	TYP	POLE	A	B	A	B			TYP	COND	IG	GND	NEUT	PH		
1	MAIN BREAKER					100	2			200	1	20	3/4"	--	12	12	12	12	ARC HEATER UNIT	2	
3										200	1	20	3/4"	--	12	12	12	12	EQUIPMENT CABINET LTG	4	
5	SIGNAGE LIGHT AND SWITCH	12	12	12	--	3/4"	20	1	320	2,500	1	30	3/4"	10	10	10	10	10	DEDICATED ATM RECEPTACLE	6	
7	MODEM - DED RCPT #1	12	12	12	12	3/4"	20	1	200	200	1	20	3/4"	--	12	12	12	12	TIMER	8	
9	SECURITY - DED RCPT #2	12	12	12	12	3/4"	20	1	200	200	1	20	3/4"	--	12	12	12	12	SPARE	10	
11	UTILITY RCPT	12	12	12	--	3/4"	20	1	540		1	20							SPARE	12	
13	POLE LIGHT	10	--	10	--	3/4"	20	2	464	464	2	30	3/4"	10	10	10	10	10	SPD	14	
15		10	--	10	--	3/4"	20	2	464	464	2	30	3/4"	10	10	10	10	10	SPD	16	
		SUBTOTAL				984	1,204			2,700	400										
LOAD		CONN. VA		DF		LOAD		CONN. VA		DF		TOTAL PHASE A - VA		3,684							
COOLING				0"		REFRIGERATION				1.00		TOTAL PHASE B - VA		31							
HEATING		200		1.00		DISPLAY CASE				1.25		TOTAL PHASE C - VA		1,604							
LIGHTING		1,448		1.25		KITCHEN				1.00		CONN. AMPS		13							
RECEPTACLES		3,640		1.0/5		EXISTING				1.00		TOTAL PNLBD - VA		5,288							
MOTORS				1.00		LARGEST MOTOR				1.25		TOTAL PHASE D - VA		22							
WATER HEATER				1.00		SHOW WINDOW				1.25		TOTAL DEMAND		5,650 VA							
MSC EQUIP				1.00		LTG TRACK				1.00		CONN. AMPS		24 A							
												PANEL "ATM"		SCALE NONE							

**PANEL "ATM"** SCALE NONE **5**

Date	Description
05.17.18	ISSUE FOR REVIEW
05.29.18	ISSUE FOR PERMIT

Seal / Signature  
  
ANDREW MOHR, P.E.  
NC REG. NO. 43030

Project Name  
Shipyards Plaza ATM- UB

Project Number  
69.6191.980 / 10-629.00

Scale

Description  
ELECTRICAL RISER DIAGRAM, PANEL SCHEDULE AND DETAILS

**E02.01**

